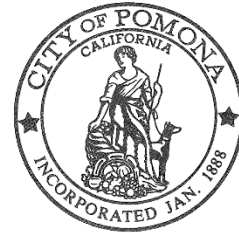


THE CITY OF POMONA

Development Services Department



April 4, 2024

3 Bros Real Estate, LLC
11175 Azusa Court, Suite 110
Rancho Cucamonga, CA 91730

Subject: Notice of Decision for File No.(s) MINCOA-000442-2024

The Planning Division has reviewed your Certificate of Appropriateness application to replace the original wood windows and front door with new vinyl windows and a new front door. Upon review of the City's historic preservation ordinance and design guidelines your project has been **denied**. The attached decision letter provides the analysis and basis for the decision. There is a 20 day appeal period from the date of approval.

If you have any questions, please contact me at (909) 620-2445 or email me at geoffrey.starns@pomonaca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "G. Starns", is written over the typed name and title.

Geoffrey Starns, AICP, AIA, LEED AP
Historic Preservation Supervisor

Attachment



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

FILE NO: MINCOA-000442-2024

A request for a Minor Certificate of Appropriateness to replace the original wood windows and front door with new vinyl windows and a new front door.

ADDRESS: **561 East McKinley Avenue**

APPLICANT: 3 Bros Real Estate

PROJECT PLANNER: Geoffrey Starns, AICP, AIA, LEED AP, Historic Preservation Supervisor

DECISION: Deny File No(s). MINCOA-000442-2024.

BASIS FOR DECISION

Staff reviewed Pomona’s Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City’s Historic Preservation Ordinance can be made.

Vinyl is not appropriate for a Spanish Colonial Revival House and the front door is not in an appropriate style for the house.

 N Windows must be repaired first. Replacement is a last resort. (Proof from contractor is needed).
(Window Installer not acceptable)

 N Replacement windows are a “Like for Like” or an “In-kind” replacement

 N Vinyl windows are prohibited.

 Replacement of a non-historic window(s) shall meet the “Like for Like” standard based on the style and material historically typical for its style (See Chapter 2).

 N Doors must be repaired first. Replacement is a last resort.

 N Replacement doors are a “like for like” or an “in-kind” replacement



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

CONDITIONS OF APPROVAL:

The Planning Division has completed its review of MINCOA-000442-2024. The request has been **denied**.

APPEALS

This decision will become final on April 25, 2024, unless an appeal is filed with the Planning Division prior to this date. The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.

Sincerely,

A handwritten signature in blue ink, appearing to read "G. Starns".

Geoffrey Starns, AICP, AIA, LEED AP
Historic Preservation Supervisor

April 4, 2024

Date