

# THE CITY OF POMONA

Development Services Department



March 13, 2024

James Kercheval  
499 Kenoak Pl.  
Pomona, CA 91768

**Subject: Notice of Decision for File No. MINCOA 000384-2024**

Dear James Kercheval,

The Planning Division has reviewed your Certificate of Appropriateness application to install a PV system on the roof of the accessory dwelling unit addressed as **499 Kenoak Place** (primary structure addressed as 490 Preciado St). Upon review of the City's historic preservation ordinance and design guidelines your project has been **approved**. The attached decision letter provides the analysis and basis for the decision.

**All Minor Certificates of Appropriateness applications include a 20 day appeal period following the date of approval. The appeal period for this application will expire on April 02, 2024.** The applicant or any member of the public may file an appeal. In the event that an appeal is submitted to the City, Planning staff will contact you to discuss the appeal. If there are no appeals, please contact the Building and Safety Division as early as April 03, 2024 to submit and pull a building permit for the installation of the proposed PV system. Please attach this letter to all required building permit applications as proof of MINCOA approval.

If you have any questions, please contact me at [carlos.molina@pomonaca.gov](mailto:carlos.molina@pomonaca.gov).

Sincerely,

A handwritten signature in black ink, appearing to be "Carlos Molina", written over a horizontal line.

Carlos Molina  
Assistant Planner

Attachments:

- Decision Letter
- Property Survey
- Project Plans



City of Pomona

# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

**FILE NO:** **MINCOA 000382-2024**

A request for a Minor Certificate of Appropriateness to install a PV system on the roof of an accessory dwelling unit located on a contributing parcel to the Hacienda Park Historic District.

**ADDRESS:** **499 Kenoak Pl.**

**APPLICANT:** James Kercheval

**PROJECT PLANNER:** Carlos Molina, Assistant Planner

**DECISION:** Approved File No(s). MINCOA 000382-2024

## **BASIS FOR DECISION**

Staff reviewed Pomona's Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City's Historic Preservation Ordinance can be made.

## **Applicable Design Standards**

- There will be no change in appearance of the roof.
- The solar panels are removable so that, if removed at a later date, will not cause a change in the appearance of the roof;
- The solar panels are removable so that, if removed at a later date, will not cause the historic roofing material of the roof to be removed; and
- Any removal of roofing material at the time of installation will be replaced in-kind, causing no change in appearance and is subject to a reroof permit.
- Project meets City's preferred location for solar panels (Guide to Installing Solar Panels) (Not required under state law)
- Project Applicant or owner signed Conditions of Approval

## **CONDITIONS OF APPROVAL:**

The Planning Division has completed its review of **MINCOA 000382-2024**. The request has been **approved**. The approval is subject to the following conditions:



City of Pomona

## MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

1. The approval shall be used in the manner requested and shall be in substantial conformity with the plans approved by the Planning Division on the date listed on this letter, in accordance with the revision and/or additional conditions specifically required in this approval.
2. The approval shall be valid for not more than one year from the date of Permit approval. The Planning Division may grant a time extension for one (1) year provided that a written request by the applicant is submitted to the Planning Division within thirty (30) days prior to the expiration date without a fee. If plans are submitted to the Building and Safety division within one year from the date of approval, the proposed action shall be considered active.
3. The applicant shall obtain any required permits from the Building & Safety Division and/or Department of Public Works.
4. In the event that the approved plans under this Minor Certificate of Appropriateness are inconsistent with the provisions of the California Code of Regulations, Title 24 and/or any other applicable uniform building codes, the applicable building codes shall prevail.
5. Any deviation from the approved plans, shall require modification to the Certificate of Appropriateness and require approval of the Planning Division and, if necessary, the Historic Preservation Commission.
6. All project conditions shall be imprinted on the title sheet of the construction drawings (if required). The approved set of plans shall be retained on-site for review by Building Inspectors during the course of construction.
7. Prior to Occupancy the Planning Division shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.
8. Construction Activities:  
  
Hours of construction activity shall be limited to:  
  
7:00 a.m. to 8:00 p.m., Monday through Saturday  
(There shall be no construction allowed on Sunday or on any Federal or State Holiday)
9. Violation of any of the conditions of this permit shall be cause for revocation and termination of all rights thereunder.
10. The applicant shall obtain a building permit prior to any demolition or construction.
11. All ground and roof-mounted equipment is required to be fully screened from view. Upon final inspection, Planning Division staff may require additional screening if warranted, through either landscaping, walls or a combination thereof.



City of Pomona

## MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

12. There will be **NO** change in appearance of the roof;
13. The solar panels will be installed in such a manner that they are removable at a later date **WITHOUT** affecting the historic character of the roof;
14. The solar panels will be installed in such a manner that they are removable at a later date **WITHOUT** having to remove the historic roof material.
15. Any removal of existing roof material at the time of installation will be replaced with a like material causing **NO** change in appearance and subject to a reroof permit.

### APPEALS

**This decision will become final on April 03, 2024, unless an appeal is filed with the Planning Division prior to this date.** The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.

Sincerely,

A handwritten signature in blue ink, appearing to read "G. Starns".

Geoffrey Starns, AICP, LEED AP BD+C  
Historic Preservation Supervisor

March 13, 2024

\_\_\_\_\_  
Date

PRIMARY RECORD

Primary #  
HRI #  
Trinomial  
NRHP Status Code

Other Listings  
Review Code

Reviewer

Date

Page 223 of 277

\*Resource Name or #: (Assigned by Recorder) 490 PRECIADO ST

P1. Other Identifier:

\*P2. Location:  Not for Publication

and (P2b and P2c or P2d. Attach a location map as necessary.)

\*b. USGS 7.5' Quad \_\_\_\_\_ Date \_\_\_\_\_ T \_\_\_\_\_; R \_\_\_\_\_; 1/4 of \_\_\_\_\_ 1/4 of Sec \_\_\_\_\_; \_\_\_\_\_ B.M.

c. Address 490 PRECIADO ST City: Riverside Zip \_\_\_\_\_

d. UTM (Give more than one for large and/or linear resource Zone \_\_\_\_\_; \_\_\_\_\_ mE/ \_\_\_\_\_ mN

e. Other Locational Data: Contributing with modifications

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This 1926 home is identifiable as a Tudor Revival by its steeply pitched roof, dominant cross-front-gable, and multiple groups of multi-paned windows. It is uncommon to see clapboard siding in a Tudor home, but not unheard of. The original owner was a manager at the local Kerckhoff-Cuzner Mill, and perhaps this accounts for the redwood siding of the home.

Windows are casement window, which is also typical of the style with eight panes each. The second story features french doors.

The second story balcony is cantilevered and covered by the principle roof.

Garage is attached and located at the back of the house.

Some windows have been replaced on the west side of the house with aluminum framed windows in the 1950s.

\*P3b. Resource Attributes: (List attributes and codes) HP2

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (isolates, etc.)

P5b. Description of Photo:  
(View, date, accession #)

\*P6. Date Constructed: 1926  
Age and Sources:  Historic  
 Prehistoric  Both

\*P7. Owner and Address:

Pomona CA

\*P8: Recorded by: (name, affiliation, and address)

\*P9. Date Recorded: \_\_\_\_\_














\*P10. Survey Type: (Describe)

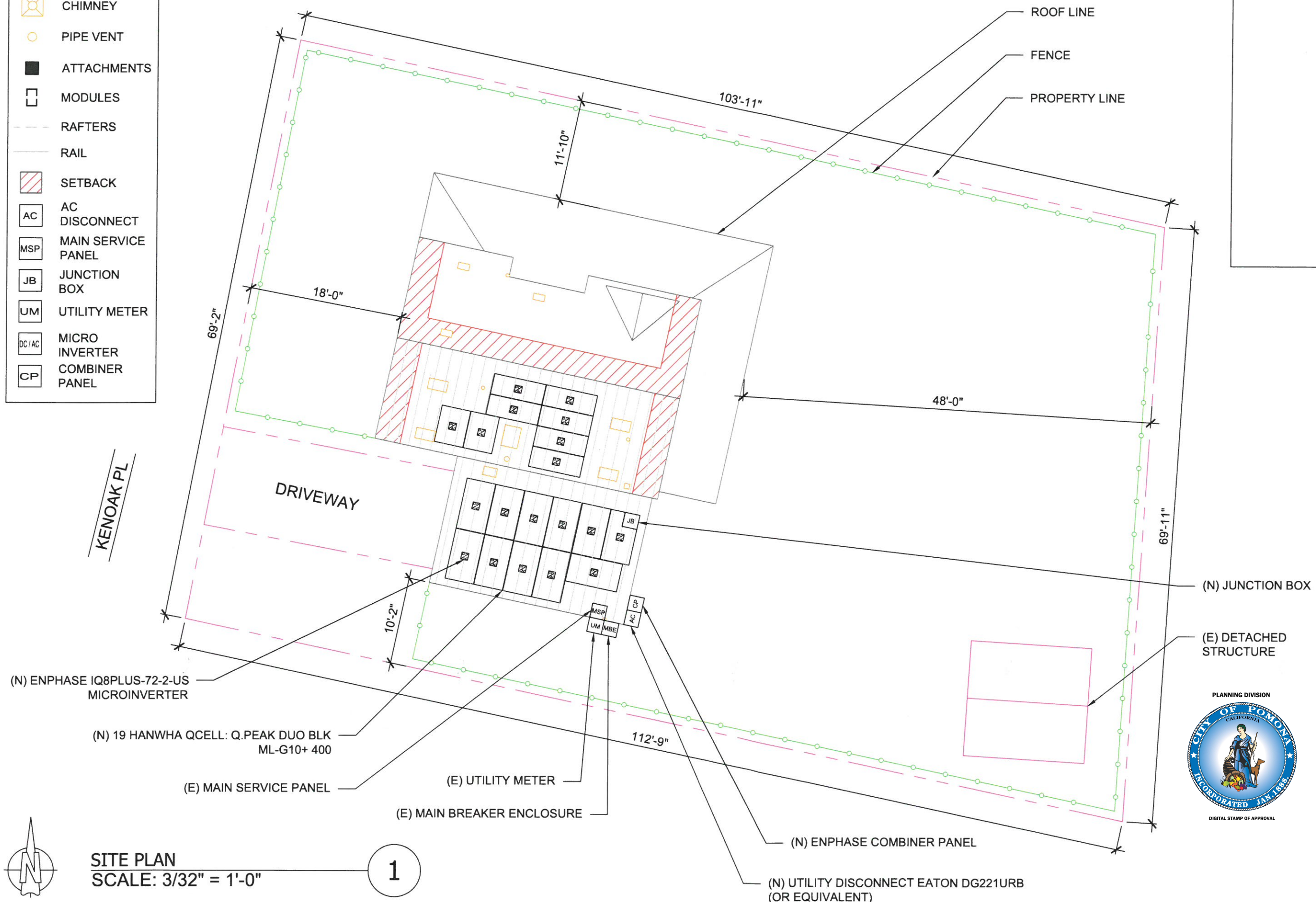
Other Activity

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

\*Attachments: NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Reature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record Other (List) \_\_\_\_\_



- LEGEND:**
-  CHIMNEY
  -  PIPE VENT
  -  ATTACHMENTS
  -  MODULES
  -  RAFTERS
  -  RAIL
  -  SETBACK
  -  AC DISCONNECT
  -  MAIN SERVICE PANEL
  -  JUNCTION BOX
  -  UTILITY METER
  -  MICRO INVERTER
  -  COMBINER PANEL



ROOF AREA: 1649 SQ FT

**CLIENT:**  
 JAMES KERCHEVAL  
 499 KENOAK PL, POMONA, CA 91768  
 AHJ: CITY OF POMONA  
 UTILITY: SCE - SOUTHERN CALIFORNIA EDISON  
 METER: 222013-211773  
 PHONE: (909) 964-8926  
 EMAIL: JIM.KERCHEVAL@CRU.ORG  
 FINANCE: OTHER

**SYSTEM:**  
 SYSTEM SIZE (DC): 19 X 400 = 7.600 kW  
 SYSTEM SIZE (CEC): 19 X 371.5 X 97% = 6.847 kW  
 MODULES: 19 X HANWHA QCELL: Q.PEAK DUO BLK ML-G10+ 400  
 OPTIMIZERS: 19 X SOLAREDGE S440  
 INVERTER: ENPHASE IQ8PLUS-72-2-US

REVISIONS		
NO.	REVISED BY	DATE
-	-	-
-	-	-
-	-	-



**freedom**  
 FOREVER  
 FREEDOM FOREVER LLC  
 43445 BUSINESS PARK DR #110, TEMECULA, CA 92590  
 Tel: (800) 385-1075  
 GREG ALBRIGHT  
 CONTRACTOR LICENSE:  
 1029644



**SITE PLAN**  
 SCALE: 3/32" = 1'-0"

1

SITE PLAN			
JOB NO:	DATE:	DESIGNED BY:	SHEET:
394094	2/15/2024	C.V.	PV-2