

THE CITY OF POMONA

Development Services Department



March 21, 2024

Mike Spera
366 Lincoln Ave.
Pomona, CA 91767

Subject: Notice of Decision for File No.(s) MINCOA-000398-2024

Dear Mike Spera,

The Planning Division has reviewed your Certificate of Appropriateness application to replace the existing asphalt roof shingles with a light weight concrete shingle modeled to mimic the original cedar shake shingles of the primary and accessory structure (SFR and garage) located at 366 Lincoln Ave. within the Lincoln Park Historic District. Upon review of the City's historic preservation ordinance and design guidelines your project has been **approved**. The attached decision letter provides the analysis and basis for the decision.

Please be advised, all Minor Certificate of Appropriateness permits are subject to a 20-day appeal period from the date of approval. The final day of the appeal period will be Wednesday April 10, 2024. If you are not contacted by the Planning Division by that date, you may pull a building permit from the Building and Safety Division on Thursday, April 11, 2024.

If you have any questions, please contact me via email me at carlos.molina@pomonaca.gov

Sincerely,

Carlos Molina
Assistant Planner

Attachments

- Decision Letter
- Site Plan
- State of CA Property Survey (1922)
- Proof of Original Cedar Shingles
- Proposed Material Photos and Spec Sheet



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

FILE NO: MINCOA-000398-2024

A request for a Minor Certificate of Appropriateness to replace the existing asphalt roof shingles with a light weight concrete modeled to mimic the original cedar shake shingles of the primary and accessory structure (SFR and garage). The existing historic resource is built in the Craftsman Bungalow style constructed in 1911. This site is located within the Lincoln Park Historic District.

ADDRESS: **366 Lincoln Ave.**

APPLICANT: Ozone Roofing Inc.

PROJECT PLANNER: Carlos Molina, Assistant Planner

DECISION: Approve File No(s). MINCOA-000398-2024

BASIS FOR DECISION

Staff reviewed Pomona's Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City's Historic Preservation Ordinance can be made.

Applicable Design Standards

- Roof material replacement is a "Like for Like" or an "**In-kind**" replacement.
- The new roof meets the guidance based on the material of the roof.
- Replacement of a non-historic roof shall meet the guidance based on the material historically typical for the property's architectural style (See Chapter 2 of Design Guidelines) corresponding to the material of the roof.
- NA** New vents must be low profile vents.



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CONDITIONS OF APPROVAL:

The Planning Division has completed its review of MINCOA-000398-2024. The request has been **approved**. The approval is subject to the following conditions:

1. The approval shall be used in the manner requested and shall be in substantial conformity with the plans approved by the Planning Division on the date listed on this letter, in accordance with the revision and/or additional conditions specifically required in this approval.
2. The approval shall be valid for not more than one year from the date of Permit approval. The Planning Division may grant a time extension for one (1) year provided that a written request by the applicant is submitted to the Planning Division within thirty (30) days prior to the expiration date without a fee. If plans are submitted to the Building and Safety division within one year from the date of approval, the proposed action shall be considered active.
3. The applicant shall obtain any required permits from the Building & Safety Division and/or Department of Public Works.
4. In the event that the approved plans under this Minor Certificate of Appropriateness are inconsistent with the provisions of the California Code of Regulations, Title 24 and/or any other applicable uniform building codes, the applicable building codes shall prevail.
5. Any deviation from the approved plans, shall require modification to the Certificate of Appropriateness and require approval of the Planning Division and, if necessary, the Historic Preservation Commission.
6. All project conditions shall be imprinted on the title sheet of the construction drawings (if required). The approved set of plans shall be retained on-site for review by Building Inspectors during the course of construction.
7. Prior to Occupancy the Planning Division shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.
8. Construction Activities:

Hours of construction activity shall be limited to:

7:00 a.m. to 8:00 p.m., Monday through Saturday
(There shall be no construction allowed on Sunday or on any Federal or State Holiday)

9. Violation of any of the conditions of this permit shall be cause for revocation and termination of all rights thereunder.



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MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

10. The applicant shall obtain a building permit prior to any demolition or construction.
11. All ground and roof-mounted equipment is required to be fully screened from view. Upon final inspection, Planning Division staff may require additional screening if warranted, through either landscaping, walls or a combination thereof.
12. The new roof material(s) shall be an **in-kind**, light-weight concrete cedar shake shingle in the Cedarlite® 600 – Ironwood model.

APPEALS

This decision will become final on Thursday April 11, 2024, unless an appeal is filed with the Planning Division prior to this date. The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.

Sincerely,

A handwritten signature in blue ink, appearing to read "Geoffrey Starns".

Geoffrey Starns, AICP, AIA, LEED AP
Historic Preservation Supervisor

March 21, 2024

Date

LINCOLN AVE

SFR

366

Garage



CRAFTSMAN

1911



Clad in wood shingles, this two-story Craftsman was built in 1911. A projecting gabled roof caps the front porch and entryway. Brick piers support the four-post columns. The wide wood front door is flanked by sidelights. One triple-set transom window and a plate glass window face the front. The second floor features a balcony which has now been enclosed with a screen. The windows are double-hung with muntin work outlining the frame. John C. Gapp and Delia were the original owners.

BUILDING DESCRIPTION BLANK PARCEL 5-19
THE JOINT BUREAU OF APPRAISAL—LOS ANGELES, CALIF.

No. 366 Lincoln St. Dr.

Tract Antonio Heights Tr. As per L. B. 10 P. 150-181 of Map for 1911

Lot No. 4 Block No. 8339

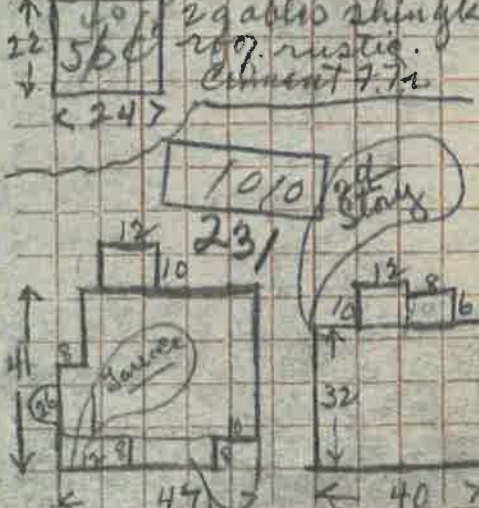
Examined by M 3/24 Date 1911

CLASS	EXTERIOR	HEATING	TRIMMINGS
Single	Bay Windows	Flue pipes	Cobblestone
Double	2 sty 3 sty	Wood, Coal, Oil	Plaster
California	Number	and Gas Furnaces	Stone, Wood
Bungalow	Wall Covering:	Steam	Plains
Residence 2 sty	Plaster, Mar. Lath	Stoves	Ornamental
Flat	Wood Lath		
Apartment	Shingles, Rustic	PLUMBING	INSIDE FINISH
Out Building	Siding, Board and Battens	No. of Fixtures	Plains
Garage	Corr. Iron		Ornamental
Shed			Stock
Barn	ROOF		Special
Church	Flat, Hip	Good, Medium	BUILT IN FEATURES
School	Gables, Dormers	Cheap	Patent Beds
Shop	Cut up, Ordinary	Sewer	Refrigerator
Storage	Plain	Gravel	Stoves 4
	Tile, Shingles	LIGHTING	Plains
	Tin, Gravel	Gas, Electric	Ornamental
FOUNDATION	CONSTRUCTION		CONDITION
Stone		Good	Medium 1911
Concrete		Medium	Poor
Brick		Cheap	
Wood			

OCCUPANCY		UNIT	1	2	3	4	5	ATTN
Over, Rented, Vacant	Living Room		5					
Rent Paid \$ Per Mo.	Bed			4				
Basement	Bath			1				
10 ft. x 12 ft.	Kitchen							
4 ft. deep	Storage							
480 cu. ft. @ 10	Store							
Lot Grade	Hardwood Floor			4	x			
	Hardwood Fin.			x	x			
	Cement Floor		1					
	Unfinished							

Remarks: 1110

OWNER: J. L. Gapp



BLDG. VALUED

CLASS 3

No. SQ. FT. 3199

AT \$ 125/100

BLDG. COST \$ 3992 4928

HEAT COST \$ 211 264

HEAT COST \$ 38 40

HEAT COST \$ 120/50

TOTAL COST \$ 4367 5428

PER DEPT DEP. 211 264

DEPT. VALUE \$ 2881 2864

PER CENT UTILITY DEP. 1790 2500

PRESENT VALUE \$ 1790 2500



original cedar shingles

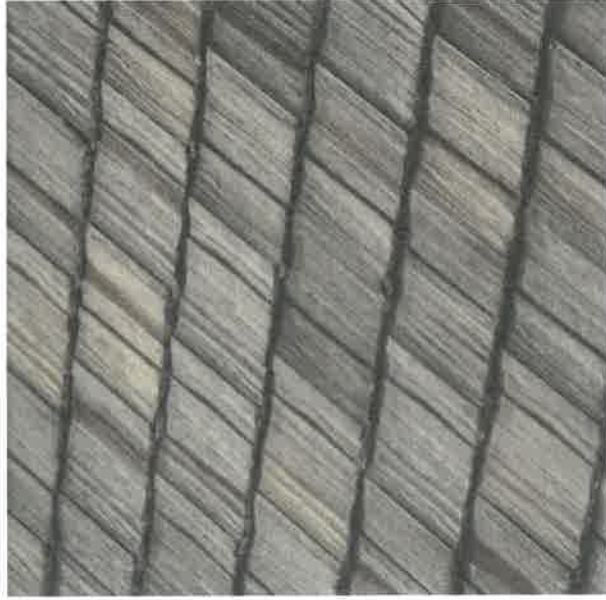


CedarLite represents a quantum leap in concrete roof tile aesthetics. Modeled after traditional heavy hand-split cedar shakes, this product was developed to deliver a true rustic, realistic wood appearance while adding the superior features and benefits inherent in concrete tile.

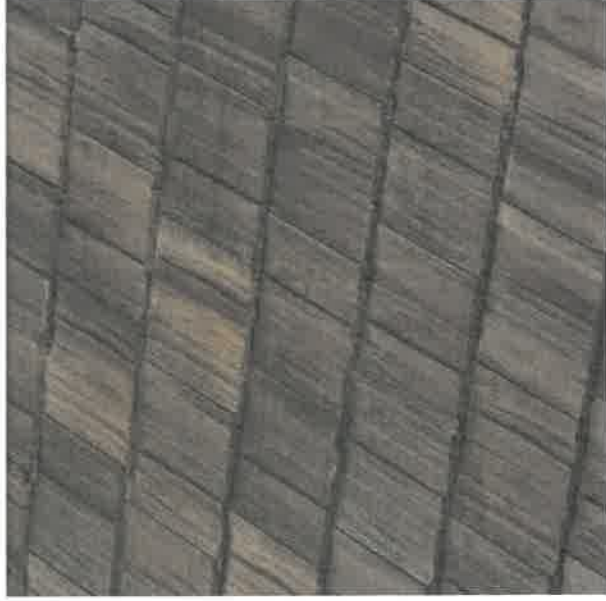
Profile/Shape
All Shapes

Weight
All

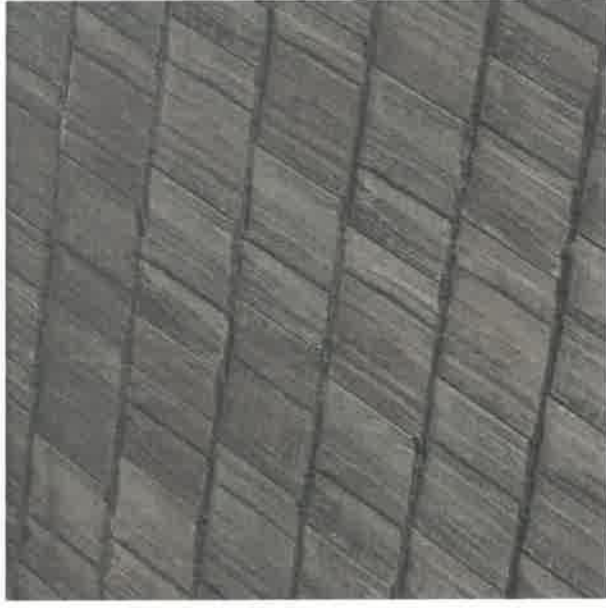
Color Family
All Colors



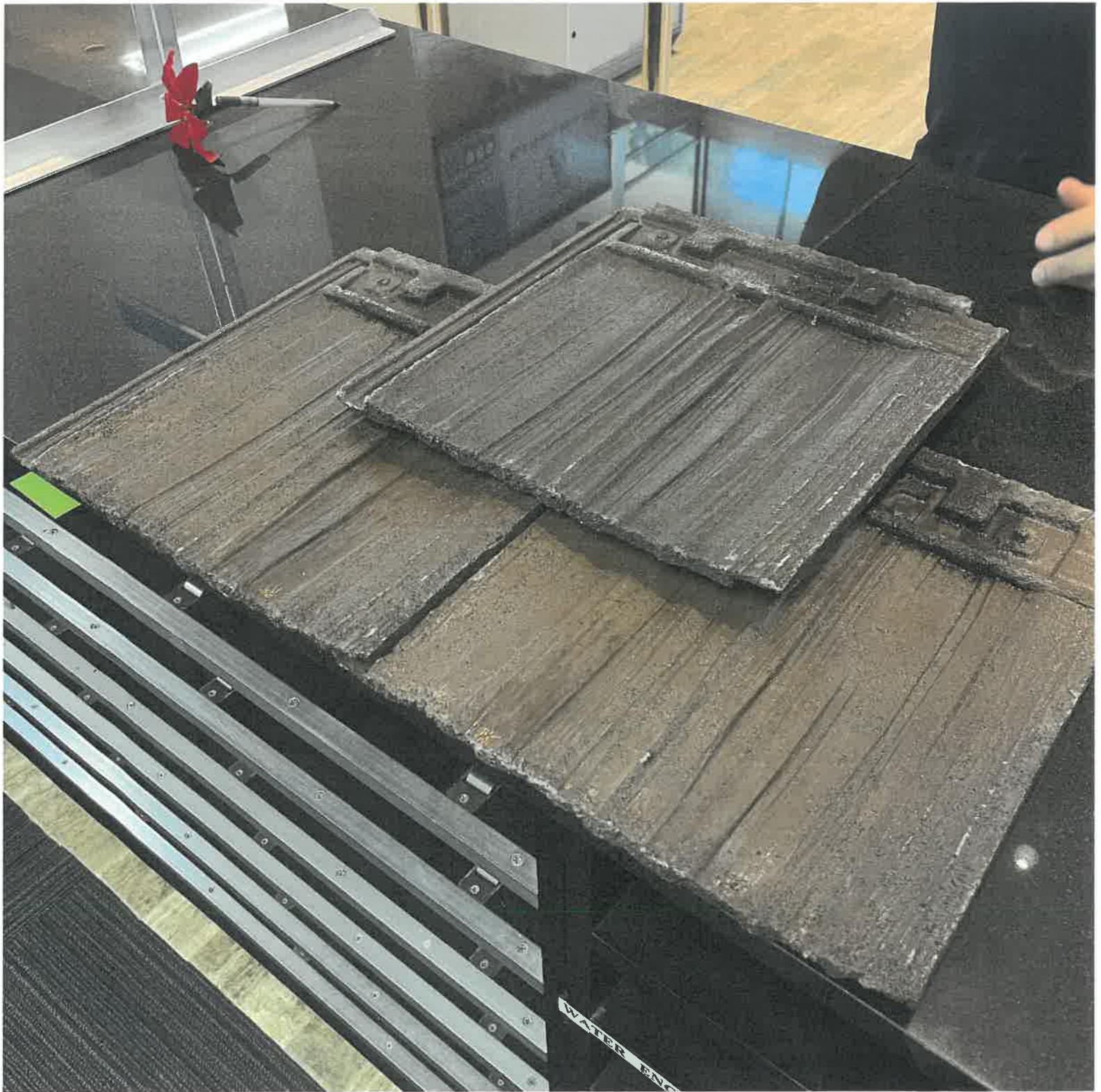
CedarLite® 600 - Autumnwood



CedarLite® 600 - Heartwood



CedarLite® 600 - Ironwood



Ironwood