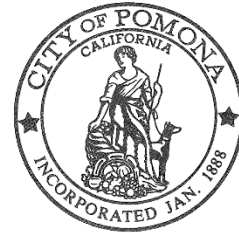


# THE CITY OF POMONA

Development Services Department



March 20, 2024

Mr. Al Naji  
P.O. Box 436  
Walnut, CA 91788

**Subject: Notice of Decision for File No.(s) MINCOA-000391-2024**

Dear Mr. Naji,

The Planning Division has reviewed your Certificate of Appropriateness application to restore the old firehouse building and convert it into a restaurant. Upon review of the City's historic preservation ordinance and design guidelines your project has been **approved**. The attached decision letter provides the analysis and basis for the decision. There is a 20 day appeal period from the date of approval.

If you have any questions, please contact me at (909) 620-2445 or email me at [geoffrey.starns@pomonaca.gov](mailto:geoffrey.starns@pomonaca.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read "G. Starns", is written over a large, stylized blue scribble.

Geoffrey Starns, AICP, AIA, LEED AP  
Historic Preservation Supervisor

Attachment



City of Pomona

# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

**FILE NO:** MINCOA-000391-2024

A request for a Minor Certificate of Appropriateness to restore the old firehouse building and convert it into a restaurant.

**ADDRESS:** **100 East Alvarado Street**

**APPLICANT:** Al Naji

**PROJECT PLANNER:** Geoffrey Starns, AICP, AIA, LEED AP, Historic Preservation Supervisor

**DECISION:** Approve File No(s). MINCOA-000391-2024.

## **BASIS FOR DECISION**

Staff reviewed Pomona's Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City's Historic Preservation Ordinance can be made.

This project is proposing to restore the building and convert it into a restaurant. It is based on the approval by the Historic Preservation Commission for an addition to the existing building as part of a Major Certificate of Appropriateness (MAJCOA-011783-2019). The applicant is proposing many of the same site features such as a fence/wall around a patio area, with the main difference in the plans being the removal of the proposed addition. Since the plans are consistent with the previously approved plans and not significant alterations are proposed to the exterior of the building, the proposed project can be approved under a Minor Certificate of Appropriateness. Staff has reviewed the project and it meets all of our applicable preservation guidelines.

## **Applicable Design Standards**

- Roof material replacement is a "Like for Like" or an "In-kind" replacement.
- The new roof meets the guidance based on the material of the roof
- Replacement of a non-historic roof shall meet the guidance based on the material historically typical for the property's architectural style (See Chapter 2 of Design Guidelines) corresponding to the material of the roof.
- New vents must be low profile vents.
- Windows must be repaired first. Replacement is a last resort. (Proof from contractor is needed). (Window Installer not acceptable)
- Replacement windows are a "Like for Like" or an "In-kind" replacement
- Vinyl windows are prohibited.



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## MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

- Replacement of a non-historic window(s) shall meet the "Like for Like" standard based on the style and material historically typical for its style (See Chapter 2).
- Doors must be repaired first. Replacement is a last resort.
- Replacement doors are a "like for like" or an "in-kind" replacement
  
- Lighting shall be appropriate to the building's architectural style.
- Security lighting shall be concealed as much as possible while still providing needed lighting for safety.
- All equipment shall be screened from view from the public right-of-way.
- Existing roof-mounted systems may remain but new equipment cannot be larger than existing equipment.
- All exterior equipment shall be screened from view from the public right-of-way.
- All exterior equipment shall be screened from view from the public right-of-way.
- Fence Meets height requirements (three (3) foot in front yard, six (6) foot side yard)
- A fence design and material must meet the fence style appropriate to the building's style of architecture as shown in the wall types in the design guidelines.



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# MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

## CONDITIONS OF APPROVAL:

The Planning Division has completed its review of MINCOA-000391-2024. The request has been **approved**. The approval is subject to the following conditions:

1. The approval shall be used in the manner requested and shall be in substantial conformity with the plans approved by the Planning Division on the date listed on this letter, in accordance with the revision and/or additional conditions specifically required in this approval.
2. The approval shall be valid for not more than one year from the date of Permit approval. The Planning Division may grant a time extension for one (1) year provided that a written request by the applicant is submitted to the Planning Division within thirty (30) days prior to the expiration date without a fee. If plans are submitted to the Building and Safety division within one year from the date of approval, the proposed action shall be considered active.
3. The applicant shall obtain any required permits from the Building & Safety Division and/or Department of Public Works.
4. In the event that the approved plans under this Minor Certificate of Appropriateness are inconsistent with the provisions of the California Code of Regulations, Title 24 and/or any other applicable uniform building codes, the applicable building codes shall prevail.
5. Any deviation from the approved plans, shall require modification to the Certificate of Appropriateness and require approval of the Planning Division and, if necessary, the Historic Preservation Commission.
6. All project conditions shall be imprinted on the title sheet of the construction drawings (if required). The approved set of plans shall be retained on-site for review by Building Inspectors during the course of construction.
7. Prior to Occupancy the Planning Division shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.
8. Construction Activities:  
  
Hours of construction activity shall be limited to:  
  
7:00 a.m. to 8:00 p.m., Monday through Saturday  
(There shall be no construction allowed on Sunday or on any Federal or State Holiday)
9. Violation of any of the conditions of this permit shall be cause for revocation and termination of all rights thereunder.
10. The applicant shall obtain a building permit prior to any demolition or construction.



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## MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

11. All ground and roof-mounted equipment is required to be fully screened from view. Upon final inspection, Planning Division staff may require additional screening if warranted, through either landscaping, walls or a combination thereof.
12. The new roof will be as provided in the approved plans.
13. The proposed windows will match the existing windows in style and material as provided in the approved plans
14. The proposed windows shall use the existing trim. Any removal of window trim will be replaced with trim of the same material and style to match the existing trim.

### APPEALS

This decision will become final on April 10, 2024, unless an appeal is filed with the Planning Division prior to this date. The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.

Sincerely,

Geoffrey Starns, AICP, AIA, LEED AP  
Historic Preservation Supervisor

March 20, 2024

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Date