

THE CITY OF POMONA

Development Services Department



March 12, 2024

Jessie Vallejo
454 Randolph Street
Pomona, CA 91768

Subject: Notice of Decision for File No.(s) MINCOA-000307-2024

Dear Jessie Vallejo,

The Planning Division has reviewed your Certificate of Appropriateness application to demolish an existing one car garage and construct a new two-car garage with an attached office and storage room with a half bathroom. Upon review of the City's historic preservation ordinance and design guidelines your project has been **approved**. The attached decision letter provides the analysis and basis for the decision. There is a 20 day appeal period from the date of approval.

If you have any questions, please contact me at (909) 620-2449 or email me at alan.fortune@pomona.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Fortune".

Alan Fortune
Assistant Planner

Attachment



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

FILE NO: MINCOA-000307-2024

A request for a Minor Certificate of Appropriateness for the demolition of an existing damaged garage and construction of a new two-car garage with an attached office and storage room with a half bathroom.

ADDRESS: **454 Randolph Street**

APPLICANT: Jessie Vallejo

PROJECT PLANNER: Alan Fortune, Assistant Planner

DECISION: Approve File No(s). MINCOA-000307-2024.

BASIS FOR DECISION

Staff reviewed Pomona's Historic Preservation Ordinance (Section .5809-13), and the applicable design standards in Preserving Pomona – The Pomona Guide to Historic Preservation. In order to approve a Minor Certificate of Appropriateness Staff must determine that the findings contained in the City's Historic Preservation Ordinance can be made.

The request was received by Staff prior to the adopted amendment to the Historic Preservation section of the Pomona Zoning Ordinance regarding the demolition of structures fifty years or older. Prior to this change and at the time the application was submitted, a Minor Certificate of Appropriateness was required for proposed accessory structures according to the Historic Design Guidelines. In addition to the existing garage being in a dilapidated state and unable to be repaired, the proposed replacement structure matches the architectural style of the primary home to the extent feasible.

Applicable Design Standards

Garages and Larger Accessory Structures (Over 120 sq. ft.):

- The details of an accessory building (siding, trim, window and door style, foundation, etc.) must match the main building.
- Structures must meet all setback, height, and other applicable zoning requirements



City of Pomona

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CONDITIONS OF APPROVAL:

The Planning Division has completed its review of MINCOA-000307-2024. The request has been **Approved**. The approval is subject to the following conditions:

1. The approval shall be used in the manner requested and shall be in substantial conformity with the plans approved by the Planning Division on the date listed on this letter, in accordance with the revision and/or additional conditions specifically required in this approval.
2. The approval shall be valid for not more than one year from the date of Permit approval. The Planning Division may grant a time extension for one (1) year provided that a written request by the applicant is submitted to the Planning Division within thirty (30) days prior to the expiration date without a fee. If plans are submitted to the Building and Safety division within one year from the date of approval, the proposed action shall be considered active.
3. The applicant shall obtain any required permits from the Building & Safety Division and/or Department of Public Works.
4. In the event that the approved plans under this Minor Certificate of Appropriateness are inconsistent with the provisions of the California Code of Regulations, Title 24 and/or any other applicable uniform building codes, the applicable building codes shall prevail.
5. Any deviation from the approved plans, shall require modification to the Certificate of Appropriateness and require approval of the Planning Division and, if necessary, the Historic Preservation Commission.
6. All project conditions shall be imprinted on the title sheet of the construction drawings (if required). The approved set of plans shall be retained on-site for review by Building Inspectors during the course of construction.
7. Prior to Occupancy the Planning Division shall inspect the premises to ensure the Conditions of Approval have been met and that the project has been constructed per the approved plans.
8. Construction Activities:

Hours of construction activity shall be limited to:

7:00 a.m. to 8:00 p.m., Monday through Saturday
(There shall be no construction allowed on Sunday or on any Federal or State Holiday)
9. Violation of any of the conditions of this permit shall be cause for revocation and termination of all rights thereunder.
10. The applicant shall obtain a building permit prior to any demolition or construction.



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

11. All ground and roof-mounted equipment is required to be fully screened from view. Upon final inspection, Planning Division staff may require additional screening if warranted, through either landscaping, walls or a combination thereof.
12. Applicant should consider salvaging the window on the existing garage and installing it on the new garage as it appears to be original.
13. The proposed siding exposure shall match that of the primary home.
14. The style of windows shall be single or double hung, rather than sliding, similar to the primary home. These windows shall be composed of wood to match that of the primary home.
15. The style of door shall be of wood and Craftsman style, similar to the primary home.
16. Provide exposed rafters in the eave overhangs to match the existing garage and the primary home. Distances between exposed rafters shall match that of the existing home.
17. Gable venting must be provided to match that of the existing garage and the primary home. This venting can be decorative, rather than functional.
18. Extruded support beams should be placed at the tops and bottoms of each roof gable, similar to the primary home.
19. The garage shall appear to be of a style that is compatible with the time period and architectural style of the primary home. The new garage door may be mechanical and open overhead but should appear to be a sliding door style.
20. Low profile roof vents shall be used.
21. All construction materials; including siding, roof shingles, and windows, shall match that of the primary home.

APPEALS

This decision will become final on April 2, 2024, unless an appeal is filed with the Planning Division prior to this date. The applicant or any member of the public may file an appeal. There is no cost to file an appeal for a Minor Certificate of Appropriateness. Appeals may be filed with the contact listed in this letter.

REVISED 12/2023



City of Pomona

MINOR CERTIFICATE OF APPROPRIATENESS DECISION LETTER

Sincerely,

A handwritten signature in black ink, appearing to read "G. Starns".

Geoffrey Starns, AICP, AIA, LEED AP
Historic Preservation Supervisor

March 12, 2024

Date

Miscellaneous

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE BEFORE STARTING ANY WORK AND BE RESPONSIBLE FOR THE SAME. THE CONTRACTOR SHALL BE NOTIFIED OF ANY DISCREPANCIES WHICH MAY EXIST. CONTRACTOR SHALL NOT SCALE ANY DRAWINGS.
- THE SPECIFICATIONS ARE OF A GENERAL NATURE AND MAY REFER TO WORK WHICH IS NOT REQUIRED. THEY ARE NOT INTENDED TO SUPERSEDE ANY CONTRACTUAL AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE SUPERVISION TO PROPERLY EXECUTE THE PROJECT AND TO PROVIDE ASSURANCE THE WORK IS IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- ALL NECESSARY PERMITS SHALL BE SECURED BY THE CONTRACTOR PRIOR TO START ANY WORK.

Site Preparation

- THE METHOD OF CLEARING AND STRIPPING SHOULD BE VERIFIED BY THE CONTRACTOR.
- ALL SURFACE VEGETATION, DEBRIS AND STRUCTURES TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE PRIOR TO COMMENCING SITE PREPARATION, EXCAVATION OR PLACEMENT OF FILL.
- FILL FOR FLOOR SLABS AND FOUNDATION TRENCHES SHALL CONSIST OF NATIVE SOIL.
- NATIVE SOIL PLACED FOR SLAB SUPPORT SHALL BE PLACED IN LAYERS NOT EXCEEDING 4" (MAX. COMPILE).
- SUPPORT FOR SLAB SUPPORT SHALL CONSIST OF SAND, GRAVELY SAND OR SILTY SAND AND SHALL HAVE A EXPANSION INDEX OF LESS THAN 10.

Wood

- ALL LUMBER SHALL BE DOUGLAS FIR PER PS20-70, GRADED PER GRADING RULE 17 W/OUT ANY OTHER OVERLAYS. THE FOLLOWING MINIMUM GRADES SHALL APPLY:
 - SILL PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED (PT) 24 STUDS AND PLATES SHALL BE 6" (MIN. COMPILE).
 - FLOOR JOISTS, RAFTERS, BEAMS, & HEADERS SHALL BE DF#11 & S.S. 4" AND LARGER BEAMS SHALL BE DF#10 OR BETTER.
 - ALL FLOOR JOISTS SHALL CONFORM TO P.S. 1-83 AND SHALL BE OF GRADE, INDEX, NUMBER AND THICKNESS CALLED ON PLANS. ALL PLYWOOD SHALL BE BONDED WITH EXTERIOR GLUE. ALL PLYWOOD EXPOSED DIRECTLY TO WEATHER SHALL BE EXTERIOR TYPE, UNLESS NOTED OTHERWISE. NO COLOURING OR MARKINGS SHALL BE MADE.
 - ROOF SHEATHING 1/2" OSB 24X0, WITH EXTERIOR GLUE Nailed with 8d NAILS AT 6" ON CENTER (OC) OVER 2" FLOOR JOISTS. NO JOIST END BRACING REQUIRED.
 - FLOOR SHEATHING 5/8" CDX FIBER PLYWOOD, 3/4" WITH EXTERIOR GLUE. USE 10d NAILS AT 4" BOUNDARY, 6" EDGE TO FIELD BLOCK ALL EDGES.
- CUTTING AND JOINING OF WOOD STUDS
 - EXTERIOR AND BEARING WALL STUDS MAY BE NOTCHED A MAXIMUM OF 25% OF STUD DEPTH. NON-BEARING WALL STUDS MAY BE NOTCHED TO A MAXIMUM OF 40% OF THE STUD DEPTH. NOTCHES SHALL NOT EXCEED 40% OF THE STUD DEPTH. NOTCHES SHALL NOT EXCEED 40% OF THE STUD DEPTH. NOTCHES SHALL NOT EXCEED 40% OF THE STUD DEPTH.
 - STUDS OF ANY STUD WHERE SUCH STUD IS DOUBLED, PROVIDED THAT NOT MORE THAN 2 SUCCESSIVE DOUBLED STUDS ARE DOUBLED. IN NO CASE THE EDGE OF THE TRIPLE BE BEARER SHALL BE MORE THAN 6" FROM THE EDGE OF THE STUD. BEARER JOISTS SHALL NOT BE LOCATED IN THE SAME SECTION OF THE WALL AS A JOIST OR NOTCH.
 - ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED PER (SEE T24).
 - FLOOR JOISTS SHALL BE BLOCKED UNDER ALL PARTITION WALLS.
 - ALL ROOF RAFTERS AND FLOOR JOISTS SHALL BE BLOCKED AT SUPPORTS.
 - WHERE CEILING JOISTS RUN OTHER THAN PARALLEL TO ROOF RAFTERS, RAFTERS SHALL BE Nailed TO CEILING JOISTS AT 24" OC AND Nailed TO THE ROOF RAFTERS WITH SHIPER NAILS.
 - WHERE PLUMBING, HEATING OR OTHER PIPES NECESSARY, THE CUTTING OF STUDS OR PLATES, THE CUT HOLE SHALL BE FILL BY A SIMPSON STRONG TIE ST-22 STRAP WITH 16d NAILS AT EACH END.
 - PRIOR TO COVERING, ALL NAILING OF ROOF AND FLOOR SHEATHING SHALL BE INSPECTED AND APPROVED BY THE BUILDING INSPECTOR.
 - ALL SHEAR WALL NAILING SHALL BE INSPECTED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO COVERING.
 - HEADERS ARE 4x4 FOR OPENINGS 4" OR LESS AND 4x6 FOR OPENINGS OVER 4" BUT LESS OR EQUAL TO 6". UNLESS NOTED OTHERWISE.
 - PROVIDE SUPPORT TO THE HANGING, UNLESS NOTED OTHERWISE.
 - LAP TOP PLATES 4"x8" MIN. WITH 12-16d NAILS AT EACH SIDE OF SPOUSE, UNLESS NOTED OTHERWISE.
 - ALL STUDS SHALL BE BRACED WITH THE DIAGONAL BRACE OR SIMPSON WOOD WALL BRACE INTO THE STUDS AT 90° ANGLES WITH CROSS BRACING A MINIMUM OF 4" STUDS SPACE.
 - ALL DOUBLED ROOF RAFTERS, CEILING JOISTS AND FLOOR JOISTS SHALL BE Nailed TOGETHER WITH 16d AT 18" OC, STAGGERED.
 - ALL FLOOR JOISTS AND ROOF RAFTERS SHALL BE WITHIN 4" OF THE STUD BEARING.

Security Requirements

- ALL INTERIOR DOOR THRESHS ACCESSIBLE FROM OUTSIDE SHALL BE NONREMOVABLE HINGE PIN. THRESH SHALL HAVE A MIN. 1/4" DIA. STEEL HINGE STUD WITH 1/4" MIN. PROJECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROTECTING HEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG.
- ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24" FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES FROM ANY ROOM.
- MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SPECIFIED AS REQUIRED. SCREENS FOR STILES AND RAILS EXCEPT MULLIONS OVER 18" LONG, MAY HAVE AN OVERALL WIDTH OF 1/8" LESS THAN 1/4".
- GLAZED OPENINGS WITHIN 40° OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL APPLY TO ALL NEW CONSTRUCTION. EXISTING SHOWERS HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS REQUIRED 1-HOUR FIRE RESISTIVE CONSTRUCTION ON ENCLOSED SIDE. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" x 64" (WIDTH AND HEIGHT). PROJECTIONS BEYOND FRAME PROTRUSING BEYOND FRAME SHALL BE REMOVED TO BE LESS THAN 1/4" BY "CLEARANCE WITHIN".
- PROVIDE 32" WIDE DOORS TO ALL ACCESSIBLE ROOMS WITHIN A DWELLING UNIT.
- GLASS SKYLIGHTS SHALL COMPLY WITH 91.2409, PLASTIC SKYLIGHTS WITH 91.1006.12.
- PROVIDE WINDOW WELLS (WITH FIXED LADDERS) FOR EGRESS WINDOWS BELOW GRADE.
- WATER HEATER IS REQUIRED TO BE ANCHORED. WATER HEATER MUST BE STRAPPED TO WALL.
- PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES.
- COURT MORE THAN TWO STORES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQ.FT.

Special Hazards

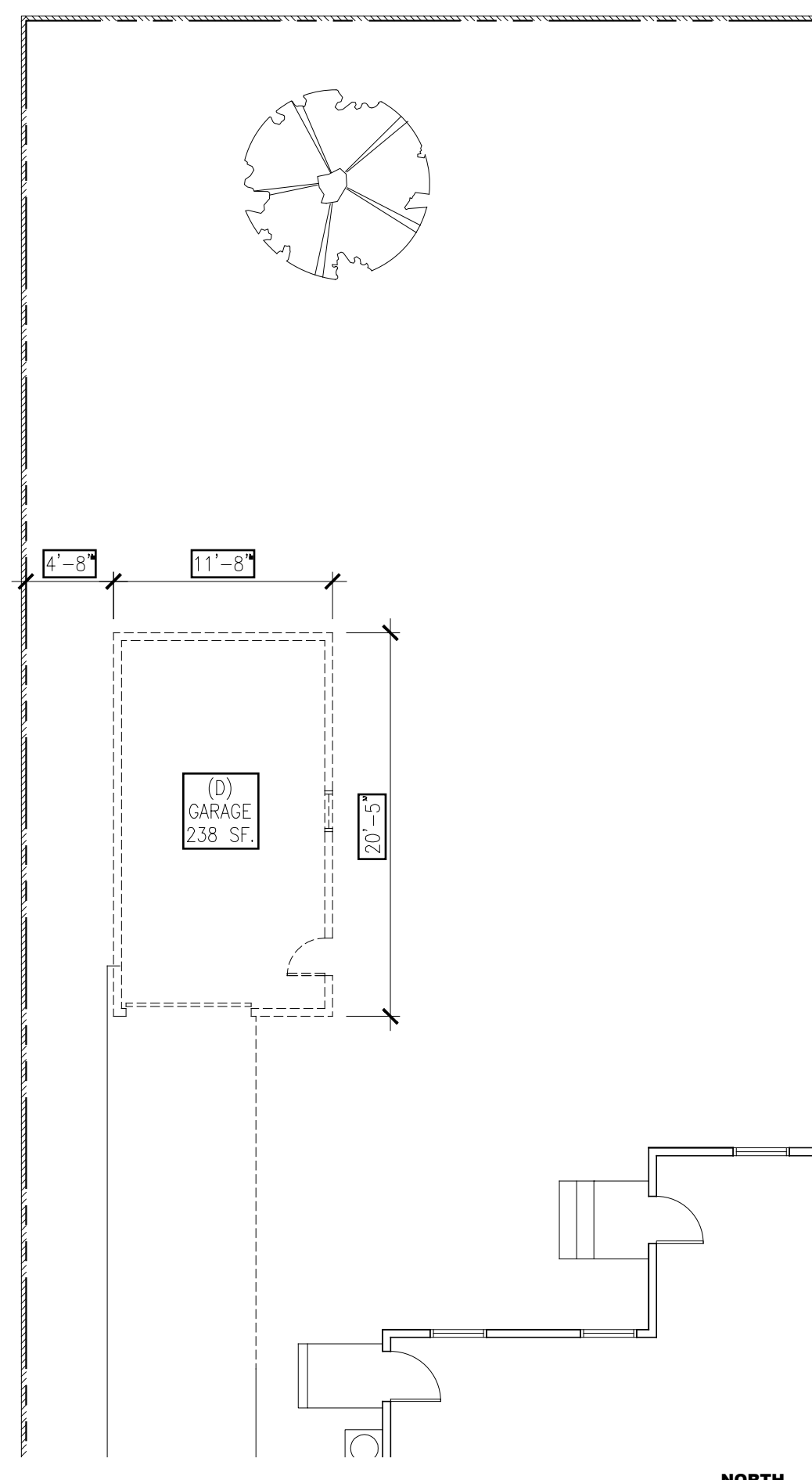
- ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON FENCE, CABLE OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF FIRE.
- PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL MEETERS, REGULATORS AND PIPING FOR HAZARDOUS MATERIALS THAT ARE EXPOSED TO VEHICULAR DAMAGE, LAMC 57.12.09.
- THE STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO AMOUNT, LOCATION, SIZE OF AREAS, HEIGHT SEPARATIONS AND HOUSEKEEPING.

Interior

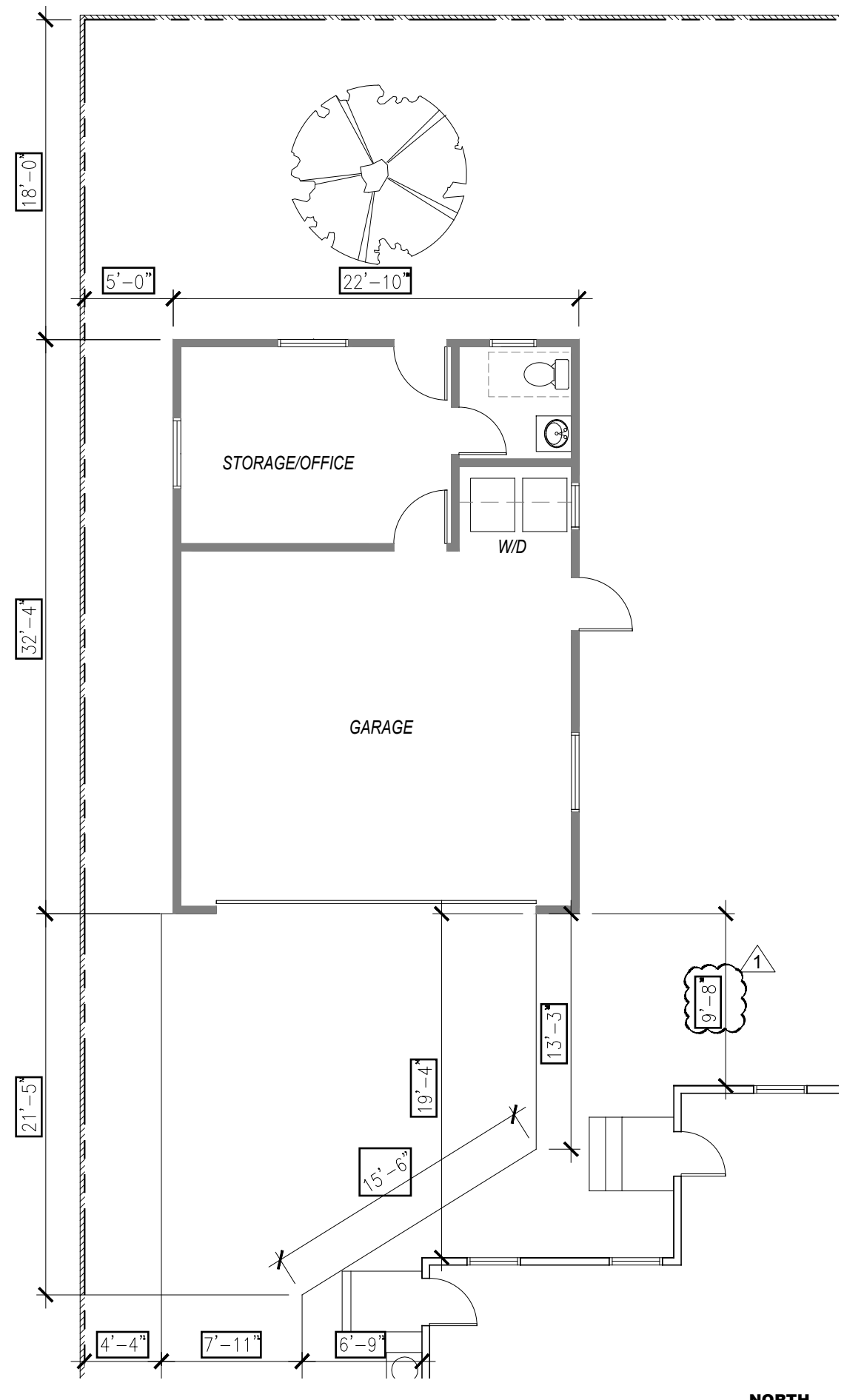
- PROVIDE 2" HIGH NONABSORBENT WALL ADJACENT TO SHOWER, AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER.
- ONLY LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
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- PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES.
- COURT MORE THAN TWO STORES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQ.FT.

General

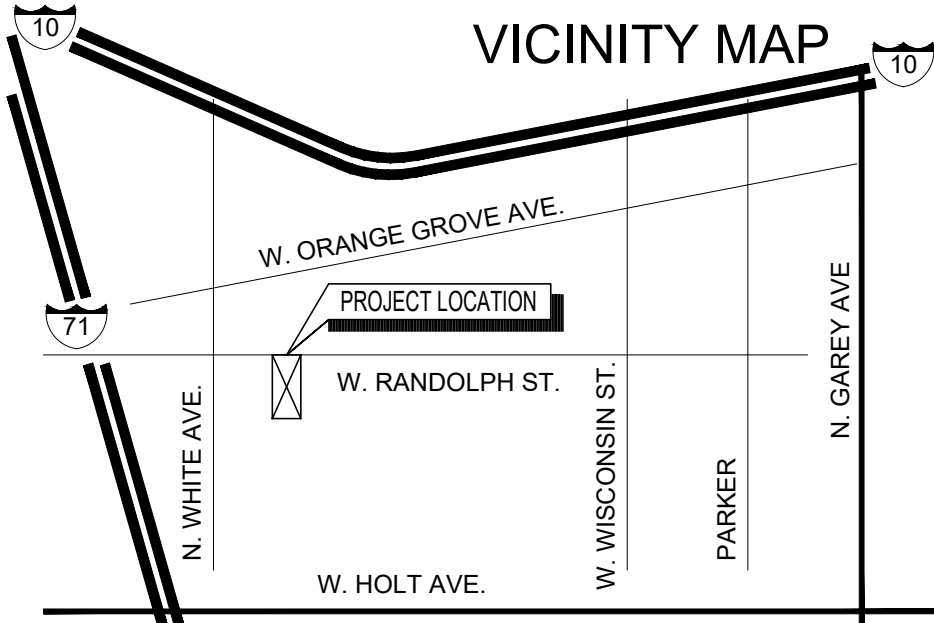
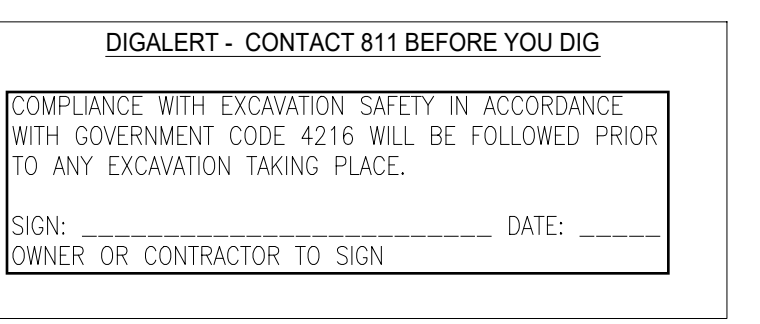
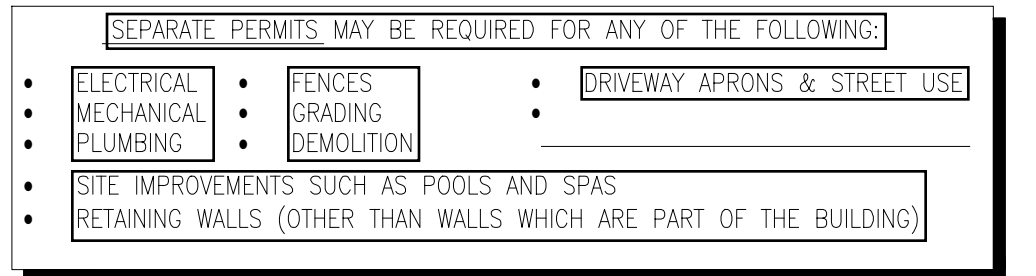
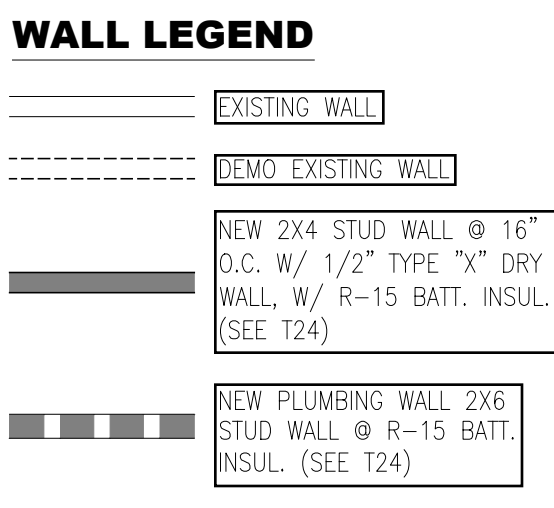
- ALL WORK SHALL COMPLY WITH THE 1997 CALIFORNIA BUILDING CODE, TITLE 24 AND ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES OF THE CITY OR COUNTY HAVING JURISDICTION FOR THE PLACE OF THE BUILDING.
- SEPARATE PERMITS SHALL BE OBTAINED FOR FENCES, POOLS, SPA OR RELATING WALLS.
- FINAL GRADING WORK SHALL COMPLY WITH CHAPTER 33 USC AND SHALL PROVIDE POSITIVE DRAINAGE FROM ALL PARTS OF THE BUILDING AND SHALL NOT DRAIN OVER ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DRAIN WATER AWAY FROM THE BUILDING.
- AT TIME OF PERMIT ISSUANCE, THE CONTRACTOR SHALL SHOW THEIR VALID "WORKERS COMPENSATION" INSURANCE CERTIFICATE.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA TITLE 24 REGARDSLESS OF THE INFORMATION INDICATED ON THESE PLANS.
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- THE CONTRACTOR SHALL NOT RESTRICT A FIRE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY POWER DISTRIBUTION FACILITIES (OWNER POLES, PULL BOXES, TRANSFORMERS, MOUNTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE METER. THE CONTRACTOR SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED IN THE PROPERTY. FAILURE TO COMPLY MAY CAUSE DELAYS AND / OR ADDITIONAL EXPENSES.
- INSTALL A SEISMIC SHEATH VALUE ON EACH FUEL GAS LINE FOR NEW BUILDINGS AND ALTER-A-FRONS IN EXCESS OF \$10,000.00. AN APPROVED GAS SHUT VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON ONE STRAIN SIDE OF THE FUEL METER AND BE PROPERLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- ERTIFY PERMIT FROM PUBLIC WORKS FOR A PROTECTION FENCE SANDY OR ON OVER ANY STREET OR PUBLIC SPACE.
- OBTAIN APPROVAL FROM PUBLIC WORKS AND BUILDING DEPARTMENT FOR AN TEMPORARY SHORING / EXCAVATIONS THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY PRIOR TO CONSTRUCTION.
- FOR SITE WITH POTENTIAL METHANE ZONE, OBTAIN APPROVAL FROM THE FIRE DEPARTMENT AND RECREATION DIVISION OF BUILDING DEPARTMENT FOR INSTALLING A MECHANICAL VENTING SYSTEM PER MGD #92.
- OBTAIN PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY FROM TO PERMIT ISSUANCE FOR:
 - TRENCHES / EXCAVATIONS MORE THAN 5' IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.
 - CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE OR SCAFFOLDING MORE THAN 3 STORES OR 36' HEIGHT.



3 DEMO FLOOR PLAN Scale: 1/4"=1'-0"



2 PROPOSED FLOOR PLAN Scale: 1/4"=1'-0"



PROJECT INFORMATION

1. LOT AREA:.....	7,060 S.F.
2. EXISTING HOUSE:.....	1,058 S.F.
3. TOTAL LIVING AREA:.....	1,058 S.F.
4. NEW GARAGE/STORAGE ADDITION:.....	738 S.F.
5. TOTAL BUILT AREA:.....	1,796 S.F.
6. LOT COVERAGE:.....	25%

LANDSCAPE CALCULATIONS:
5,264 SF / 7,060 = 0.745 SF=75% ENTIRE LOT 20% MIN.

PROJECT DATA:
1. ZONING: R-1-7, 200 SINGLE FAMILY RESIDENTIAL
2. HISTORIC DISTRICT: WILTON HEIGHTS HISTORIC DISTRICT
3. PRIMARY HOME YEAR BUILT: 1942
4. PRIMARY HOME ARCHITECTURAL STYLE: CRAFTSMAN BUNGALOW

SCOPE OF WORK:
ADDING 738 SF. - GARAGE, STORAGE/OFFICE, BATHROOM & WASHER & DRYER AREA. DEMO EXISTING GARAGE

CODE USED
California Residential Code 2019 Edition
California Building Code 2019 Edition, Volumes 1 & 2
California Mechanical Code 2019 Edition
California Plumbing Code 2019 Edition
California Electrical Code 2019 Edition
California Los Angeles County Fire Code (Title 32 of the Los Angeles County Code)
Current California Regulations including State Building Code Title 24
Title 24 California Energy Code 2019 Edition
California Green Building Standards 2019 Edition

SEPARATE PERMITS
ELECTRICAL, MECHANICAL, PLUMBING, DEMOLITION

FIELD VERIFICATION BY CONTRACTOR
NOTE: DIMENSIONS AND CONFIGURATION OF EXTERIOR AND INTERIOR WALLS, WINDOWS, DOORS, AND FLOOR ELEVATIONS ARE BASED ON CONTRACTORS FIELD MEASUREMENTS AND MAY VARY FROM ACTUAL CONSTRUCTION. ALL EXISTING CONSTRUCTION, ALL FINISHES TO BE PROVIDED TO THE DESIGNER OF THE ARCHITECTURAL PLANS AND THE OWNER FOR REVIEW PRIOR TO CONSTRUCTION. THE DESIGNERS OF THE ARCHITECTURAL PLANS DOES WARRANTY THAT THE EXISTING CONDITIONS ARE ACCURATE ON THE PLAN AS SHOWN, ANY VARIATIONS FROM THE PLANS AS SHOWN ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

History record & Revisions:

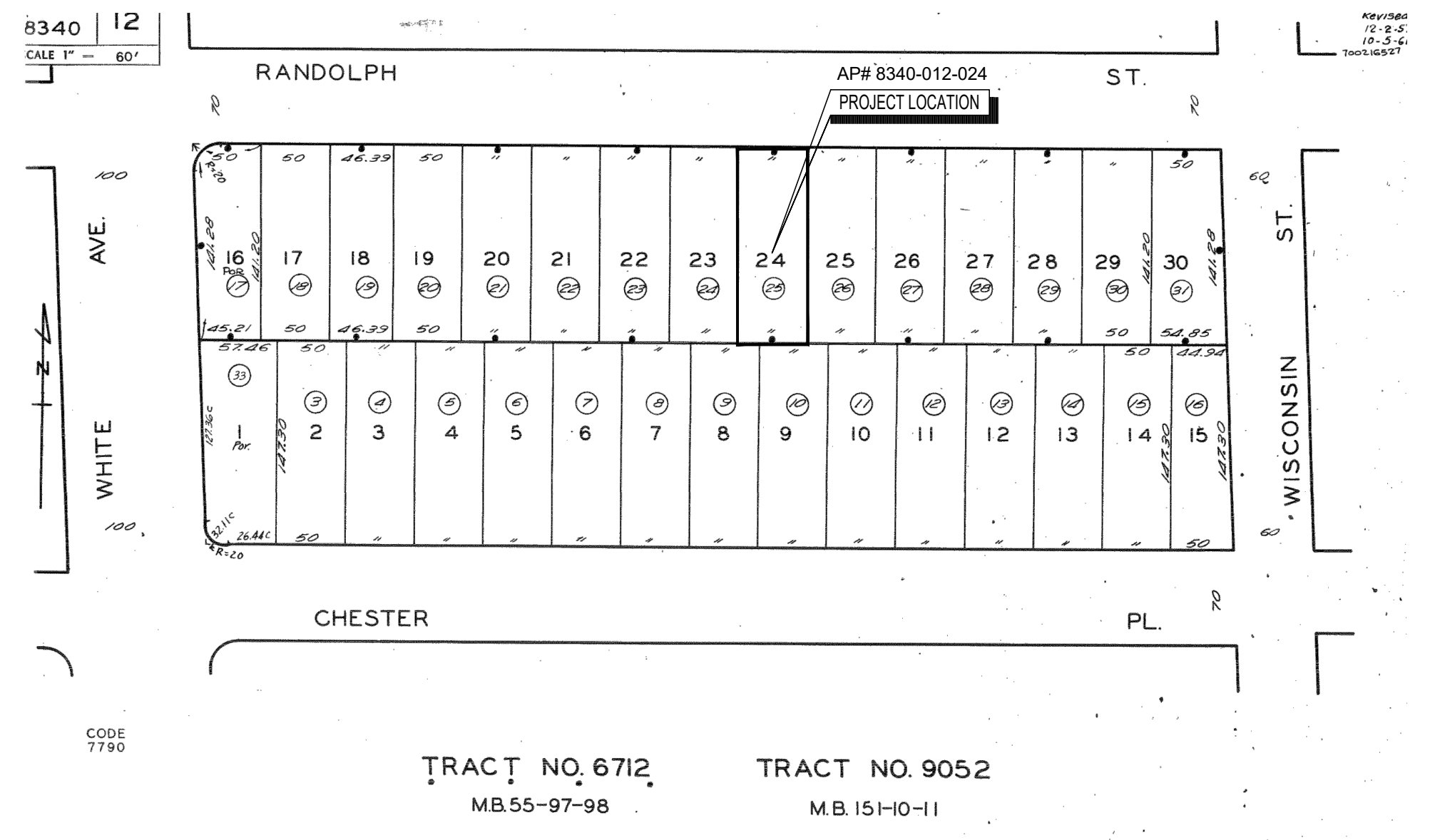
No.	Date	Description
1	11-02-23	Correction #1

Projection Description:
ADDING 738 SF. - GARAGE, STORAGE/OFFICE, BATHROOM & WASHER & DRYER AREA. DEMO EXISTING GARAGE
Single Family Residence APN: 8340-012-024

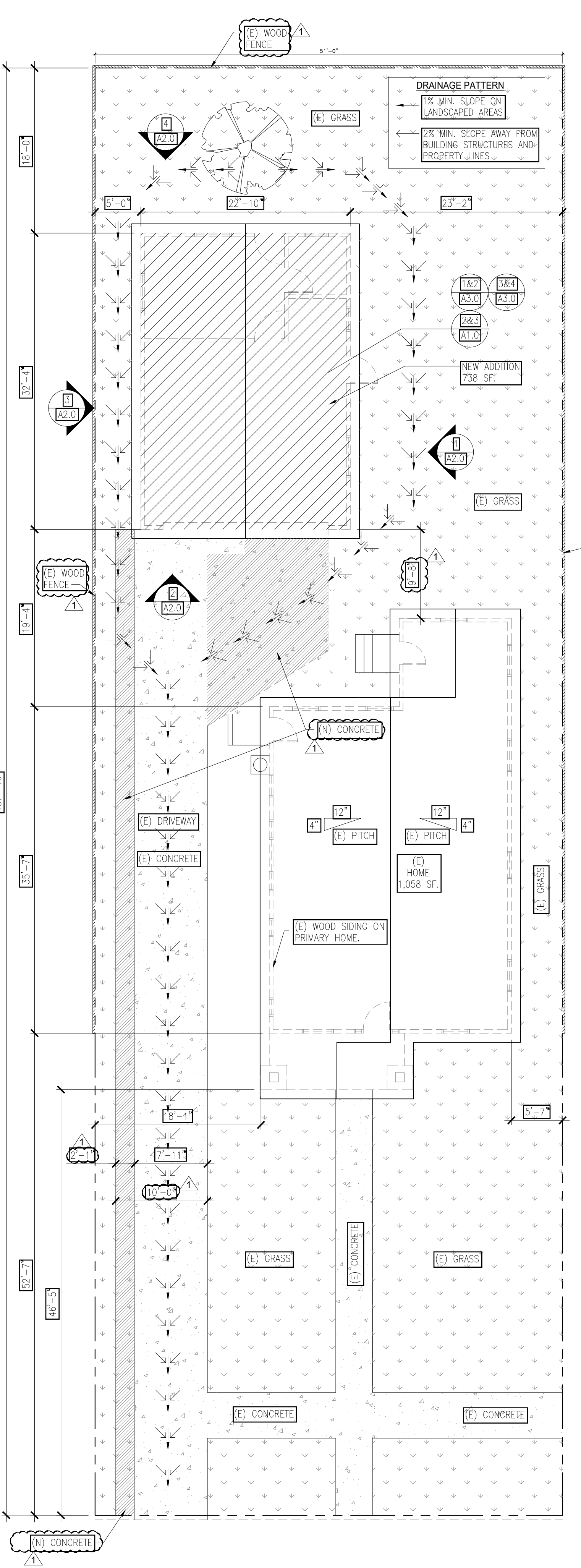
Project name & Owners Information:
Residence
454 RANDOLPH ST.
POMONA, CA 91768

Sheet title:
SITE, DEMO & PROPOSED FLOOR PLAN

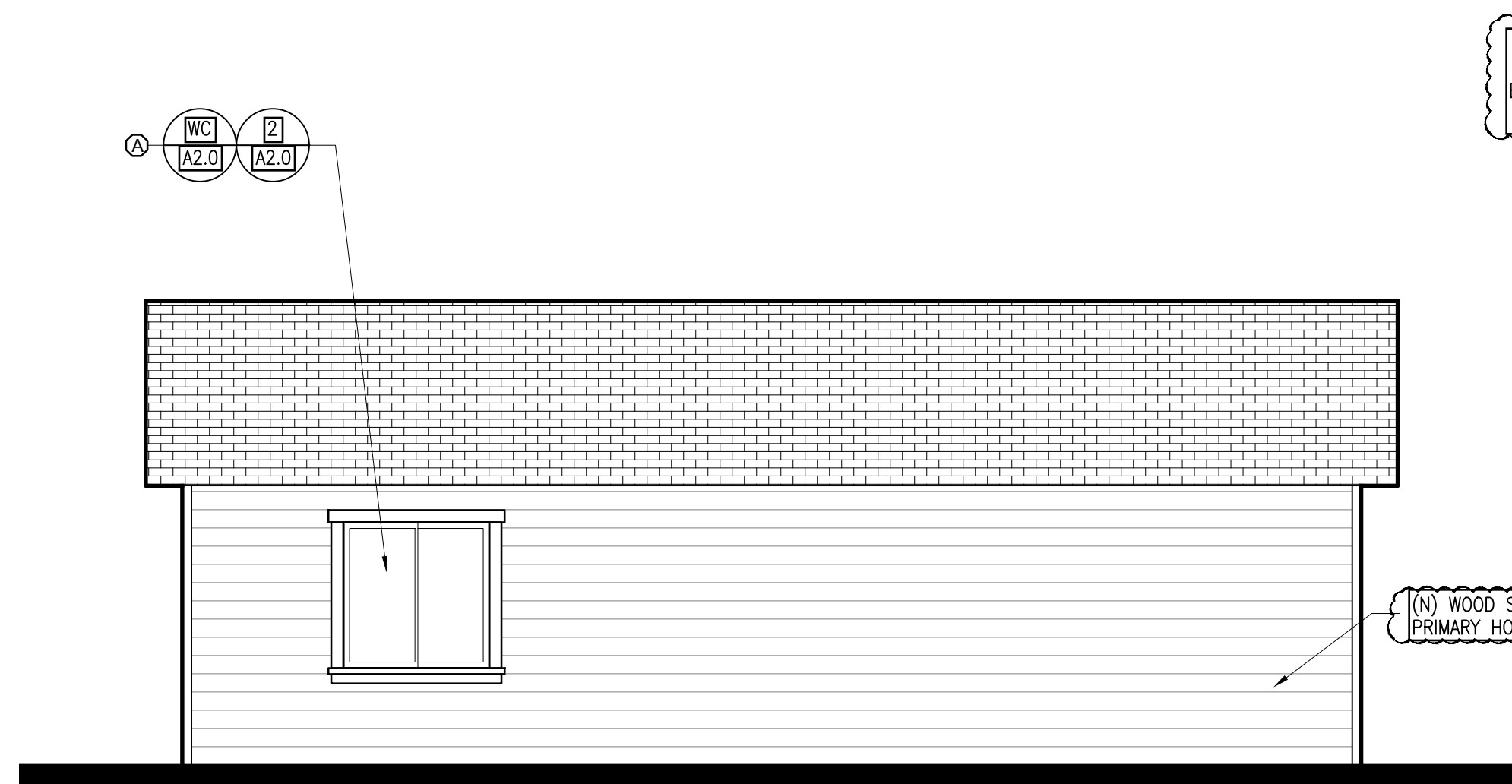
Copyright 2023. All rights reserved. No part of this work product shall be reproduced in any form or by any means-graphic, electronic or mechanical, including photocopying, without permission in writing from Designer.
Project #: 230501 SIGN:
Date: 05.02.23 Drawn by: ERNESTO R. & RICHARD M.



4 ASSESSOR'S MAP Scale: N.T.S.

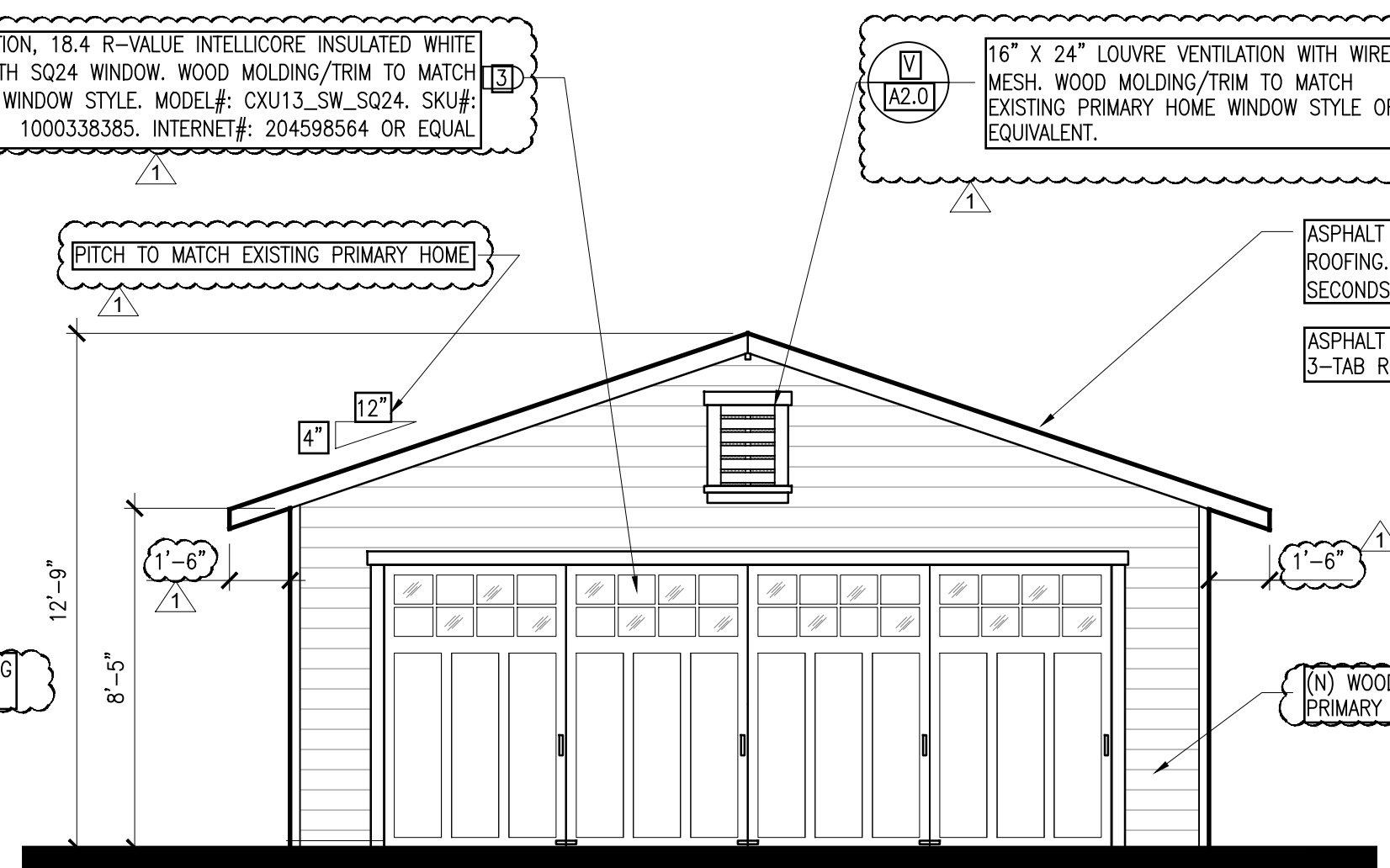


1 SITE PLAN - DRAINAGE PLAN Scale: 1/8"=1'-0"



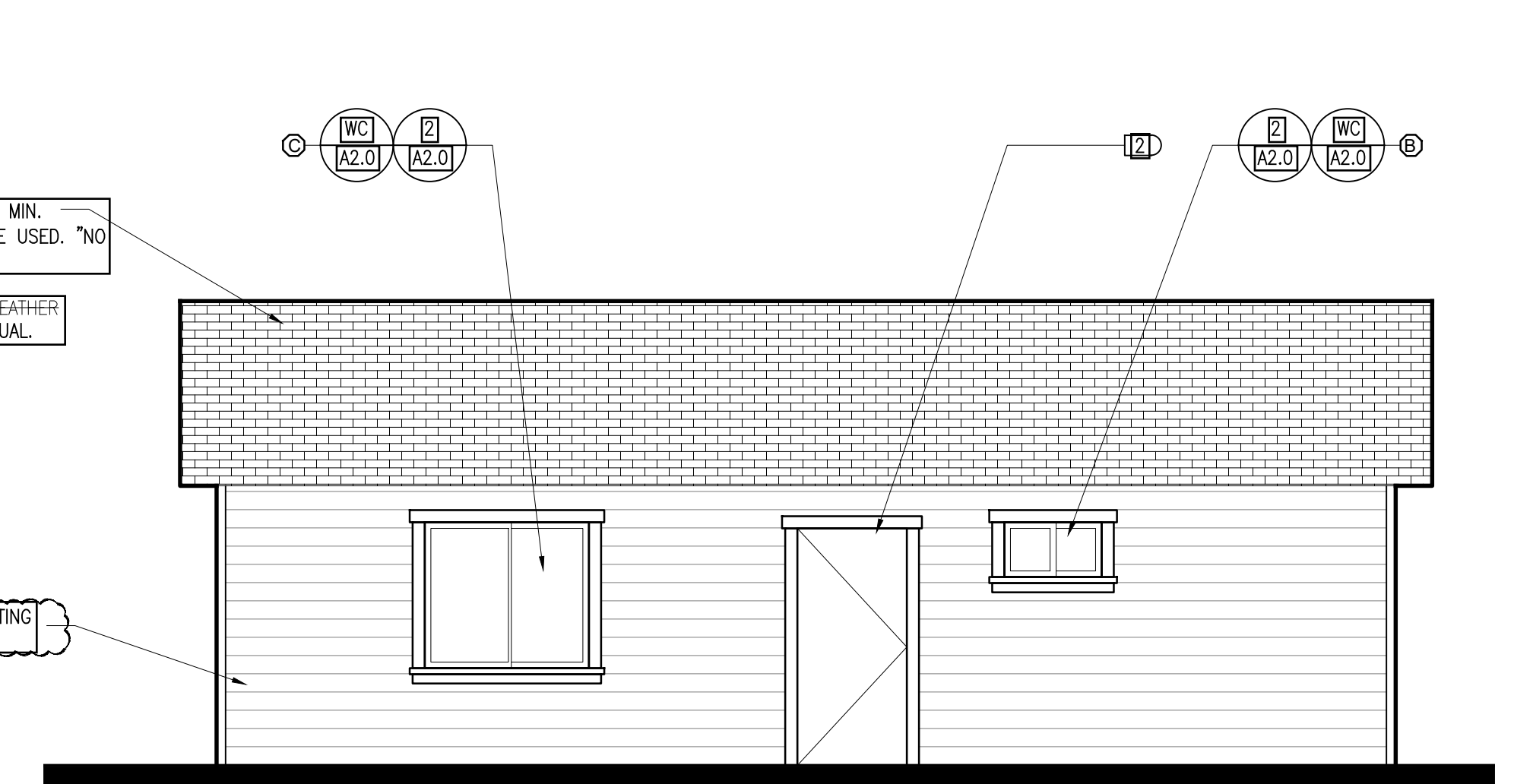
3 WEST ELEVATION

Scale: 1/4"=1'-0"



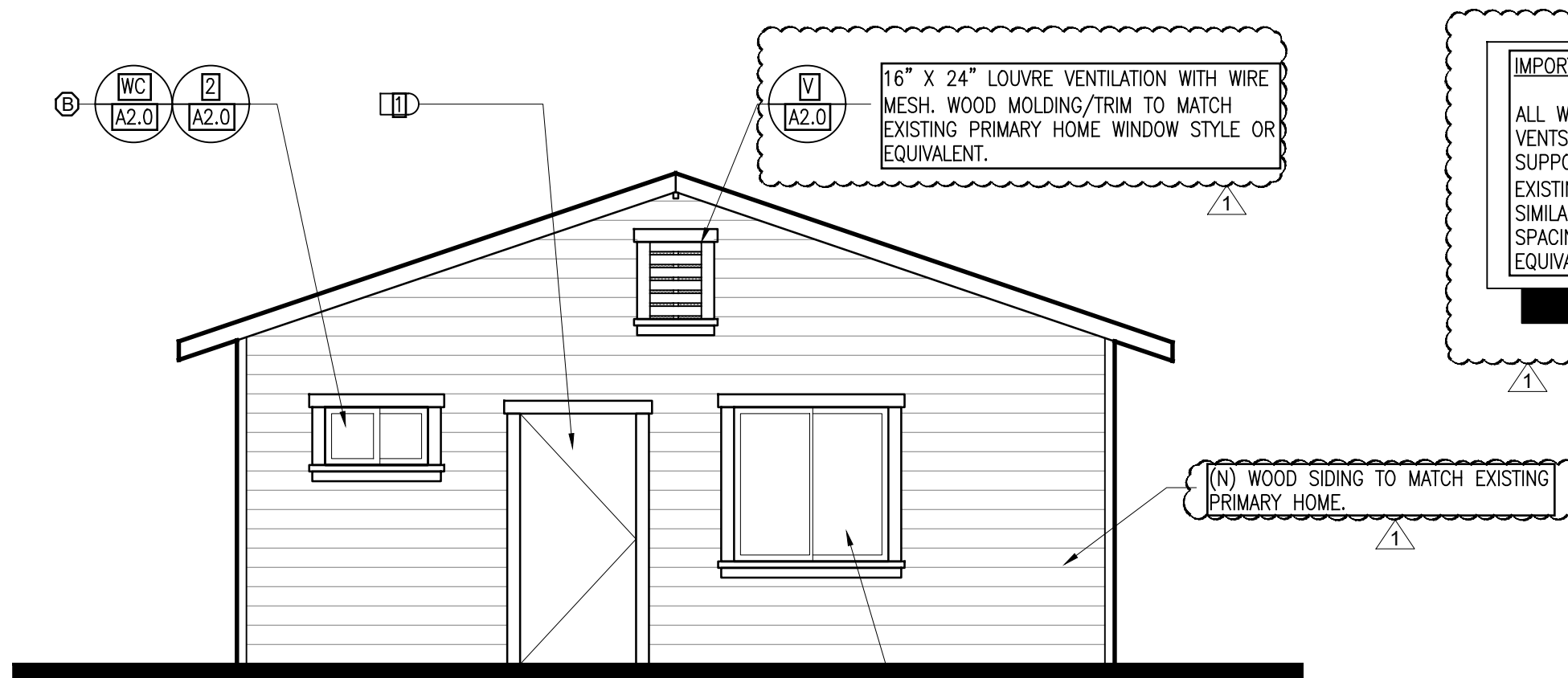
2 NORTH ELEVATION

Scale: 1/4"=1'-0"



1 EAST ELEVATION

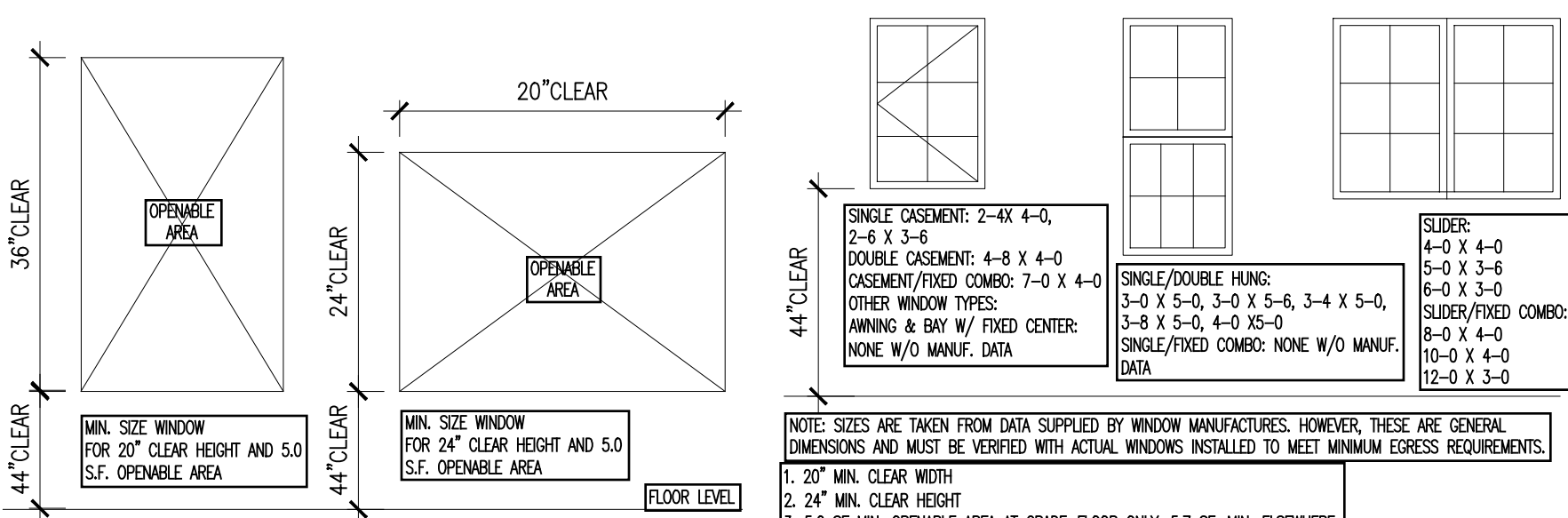
Scale: 1/4"=1'-0"



4 SOUTH ELEVATION

Scale: 1/4"=1'-0"

IMPORTANT NOTE: (PLEASE READ)
ALL WINDOWS, DOORS, WOOD SIDING, GABLE VENTS, EXPOSED RAFTERS, EXTRUDED SUPPORT BEAM AND ROOF PITCH TO MATCH EXISTING PRIMARY HOME STYLE/CRAFTSMAN SIMILAR STYLE. SHOULD MATCH MATERIAL, SPACING, DIMENSIONS, AND STYLE OR EQUIVALENT.



2 EMERGENCY ESCAPE / RESCUE OPENING

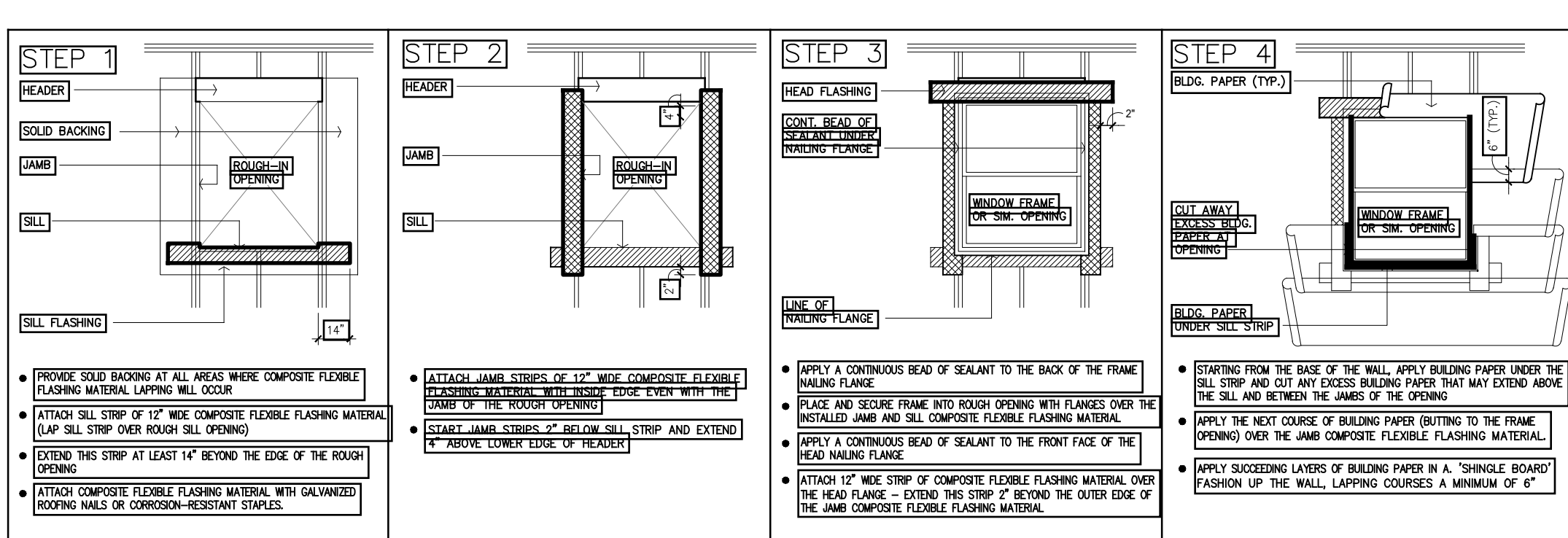
Scale: N.T.S.

GENERAL ROOF NOTES:

- 4:12 MIN. SLOPE W/1-LAYER TYPE 15 FELT. 2:12 TO 4:12 MIN. SLOPE WITH SELF-SEALING OR HAND-SEALED COMP. SHINGLES W/ 2-LAYERS TYPE 15 FELT.
- RAFTER TIES: 1X RAFTER TIE @ 4'-0" O.C. (MIN.)
- ROOF SHEATHING: 1/2" CDX PLY WOOD SHEATHING W/8d @ 6"/6"/12" O.C. (COMMON NAILS)
- 2X ROOF RAFTERS W/R-30 BATT. INSUL.
- 22"x30" ATTIC ACCESS, OR 30"x30" IF FURNACE IS IN AN ATTIC AND EQUIPMENT WILL NOT PASS THROUGH 22"x30" ACCESS. MIN. HEADROOM 30"
- ROOFING MATERIAL WILL HAVE A MIN. CLASS "A" FIRE RATING.
- EXISTING ROOF MATERIALS & SHEATHING SHALL BE REMOVED UNDER THE NEW CALIFORNIA FRAMED ADDITION.

- NOTE:**
- ADDITION TO MATCH ARCHITECTURAL ROOF STYLE, COLOR, AND FINISH OF EXISTING RESIDENCE.
 - BUILDING HEIGHT SHALL NOT EXCEED 24'0"
 - PLUMBING VENTS AND APPURTENANCES ON ROOFTOP SHALL BE PAINTED TO MATCH ROOFING MATERIAL.

ROOF DIAPHRAGM:
1/2" APA RATED PLYWOOD ROOF SHEATHING OVER EXISTING ROOFING WITH 8D NAILS @ 6" O.C. @ EDGES & BOUNDARIES. SEE STRUCT. DRAWING.



- NOTES:**
- SECTION LABELS OF THE UNIFORM BUILDING CODE CALLS FOR FLASHING OF ALL EXTERIOR OPENINGS EXPOSED TO WEATHER TO MAKE THEM WEATHER-PROOF. SINCE THE U.B.C. DOES NOT OUTLINE PROCEDURES FOR WINDOW FLASHING, TECHNIQUES SHOWN HERE ARE RECOMMENDED. USE SELF-ADHERING COMPOSITE FLEXIBLE FLASHING BY "MR. SPACE & CO." (OR EQUAL) WHENEVER POSSIBLE FOR FLASHING MATERIAL. CALLK BACK OF WINDOW FRAMES BEFORE SETTING (USE WINDOGS THAT ARE WATER-TIGHT).
 - USE GA. G.L. FLASHING REQUIRED AS SHOWN IN OTHER WINDOW DETAILS TO BE INSTALLED BY SHEET METAL CONTRACTOR.
 - ADDITIONAL MATERIALS (A. METAL HEAD FLASHING, ELASTOMERIC SHEET WATERPROOFING, ETC. WAY OCCUR (DEPENDING ON THE SPECIFIC FINISH MATERIALS BEING USED) - REFER TO INDIVIDUAL DETAILS FOR ADDITIONAL INFORMATION.
 - FIN. WIRE (WHEN USED AS BACKING TO SUPPORT WATER-RESISTANT BUILDING PAPER OR FELT GENERALLY LATH FOR STUCCO) SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND PRACTICES. NO ATTACHMENT DEVICE FOR THE WIRE BRIDGES SHOULD COVER OR INTERRUPT THE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER WIRE BRIDGING.
 - ALL MATERIALS SHALL BE IN STRICT CONFORMANCE WITH U.B.C. STANDARD 14-1.
 - APPLICATION OF FINISH MATERIALS OVER FLASHING MATERIALS SHOWN SHALL BE AS SPECIFIED BY CODE REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS AND THE BEST PRACTICES OF THE TRADE.

self-adhered composite flexible flashing system
SCALE: N.T.S.

WINDOW SCHEDULE

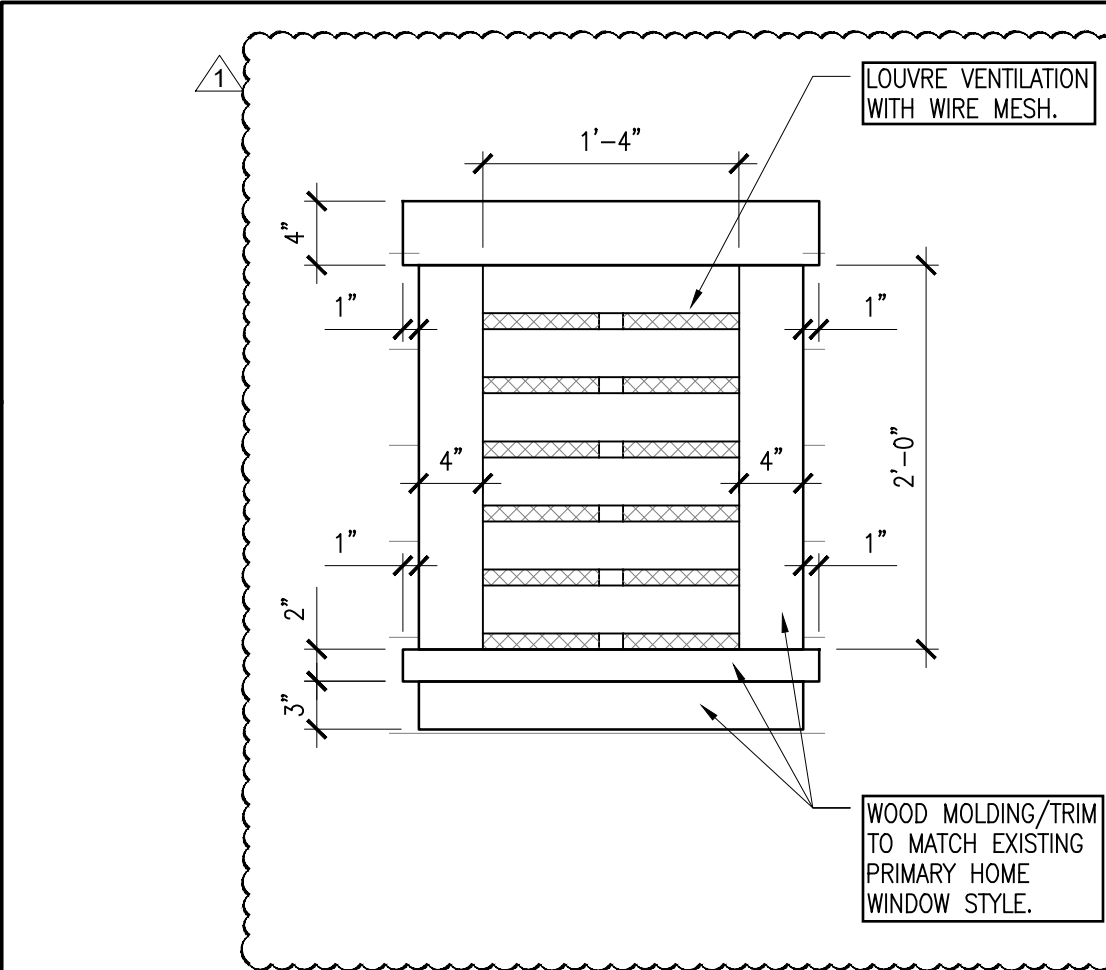
WINDOW MARK	SIZE	TYPE	MATERIAL	GLAZING	DETAILS	REMARKS
A	4'-0" x 4'-0"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	4"x6"	SEE T24
B	2'-8" x 1'-6"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	4"x6"	SEE T24
C	4'-6" x 4'-0"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	6"x6"	SEE T24

- NEW GLAZED OPENINGS WILL BE LABELLED A CERTIFIED U VALUE OF 0.75, WINDOWS SHALL BE DOUBLE GLAZED.
- NEW WINDOWS MUST BE 44" MIN. HEIGHT ABOVE FINISH FLOOR.
- LIGHT: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRIES REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/8 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MIN., WHICHEVER IS GREATER.
- VENTILATION: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/8 THE FLOOR ARE. OF THE ROOM, OR 5 S.F. MINIMUM. (NATURAL VENTILATION MAY BE SUBSTITUTED WITH MECHANICAL VENTILATION). ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/8 THE FLOOR AREA OF THE ROOM, WITH MECHANICAL VENTILATION.

DOOR SCHEDULE

DOOR MARK	SIZE	TYPE	MATERIAL	DETAILS	REMARKS
1	36" x 68"	WOOD ALUMINUM	STEEL, PER OWNER, CUSTOM	4"x4"	
2	36" x 68"	WOOD ALUMINUM	STEEL, PER OWNER, CUSTOM	4"x4"	
3	18'-0" x 7'-0"	WOOD ALUMINUM	VINYL/STEEL, PER OWNER	4"x4"	
4	36" x 68"	WOOD ALUMINUM	STEEL, PER OWNER, 60 MIN. DOOR	4"x4"	
5	32" x 68"	WOOD ALUMINUM	WOOD/VINYL, PER OWNER, 60 MIN. DR.	4"x4"	

- 1/2"-3/4" UNDERCUT OVER FINISH FLOOR, UNLESS NOTED OTHERWISE.
- OWNER TO SELECT AND APPROVE ALL DOORS USED.
- SEE T24 DRAWINGS FOR ALL ENERGY DESIGN INFORMATION.



PRODUCT DETAILS
MODEL#: V-113-16X24-CD
SKU#: 854472
INTERNET#: 202535190

VENT CALCULATIONS
A = 1.38
1.38 x 1.92 = 2.64
1.50
1.50 x 1.92 = 2.88
2.88 x 1.92 = 5.53

VENTS:
16"x24" = 2.6 sq. ft./VENT
1.44
1.44 x 2 = 2.88
2.88

VENTS:
1.89 = 2 VENTS
2.6

VENTS:
16"x24" LOUVER

ROOF VENT

V

History record & Revisions:

No.	Date	Description
1	11-02-23	Correction #1

Projection Description:
ADDING 738 SF. - GARAGE, STORAGE/OFFICE, BATHROOM & WASHER & DRYER AREA. DEMO EXISTING GARAGE
Single Family Residence APN: 8340-012-024

Project name & Owners Information:

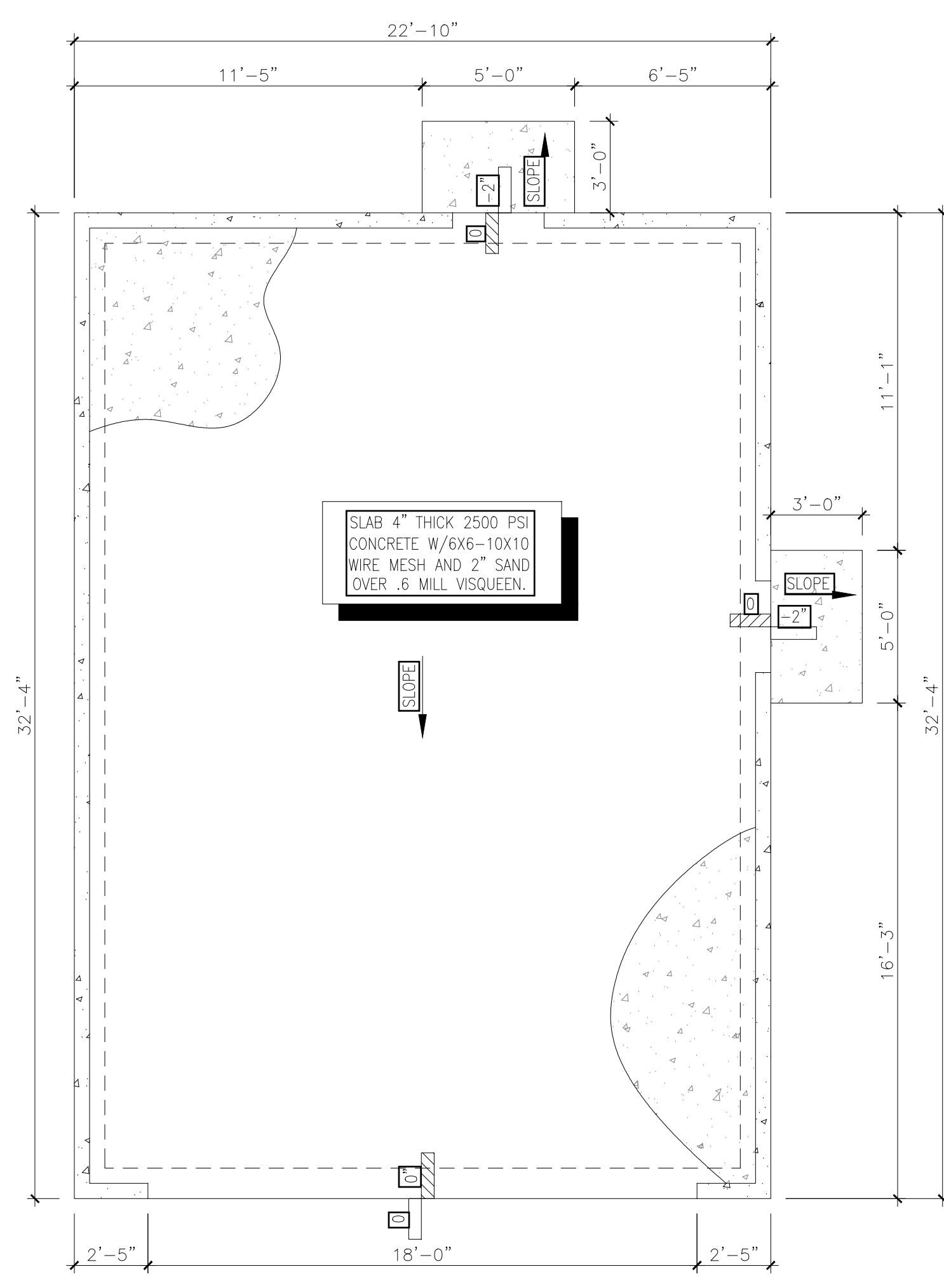
Residence
454 RANDOLPH ST.
POMONA, CA 91768

Sheet title:

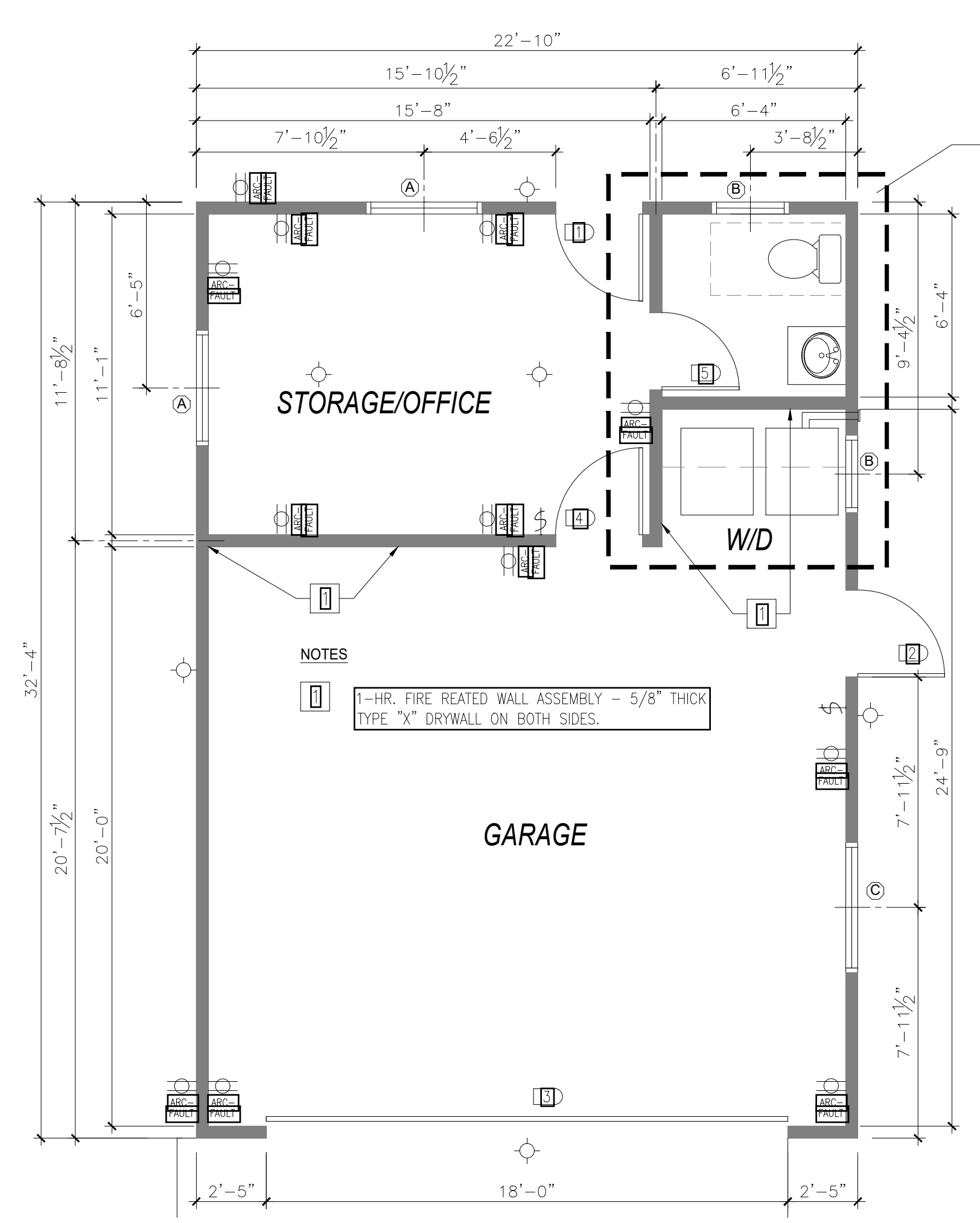
ELEVATIONS

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Project #: 230501 SIGN: ERNESTO R. & RICHARD M.
Date: 05.02.23 Drawn by: ERNESTO R. & RICHARD M.

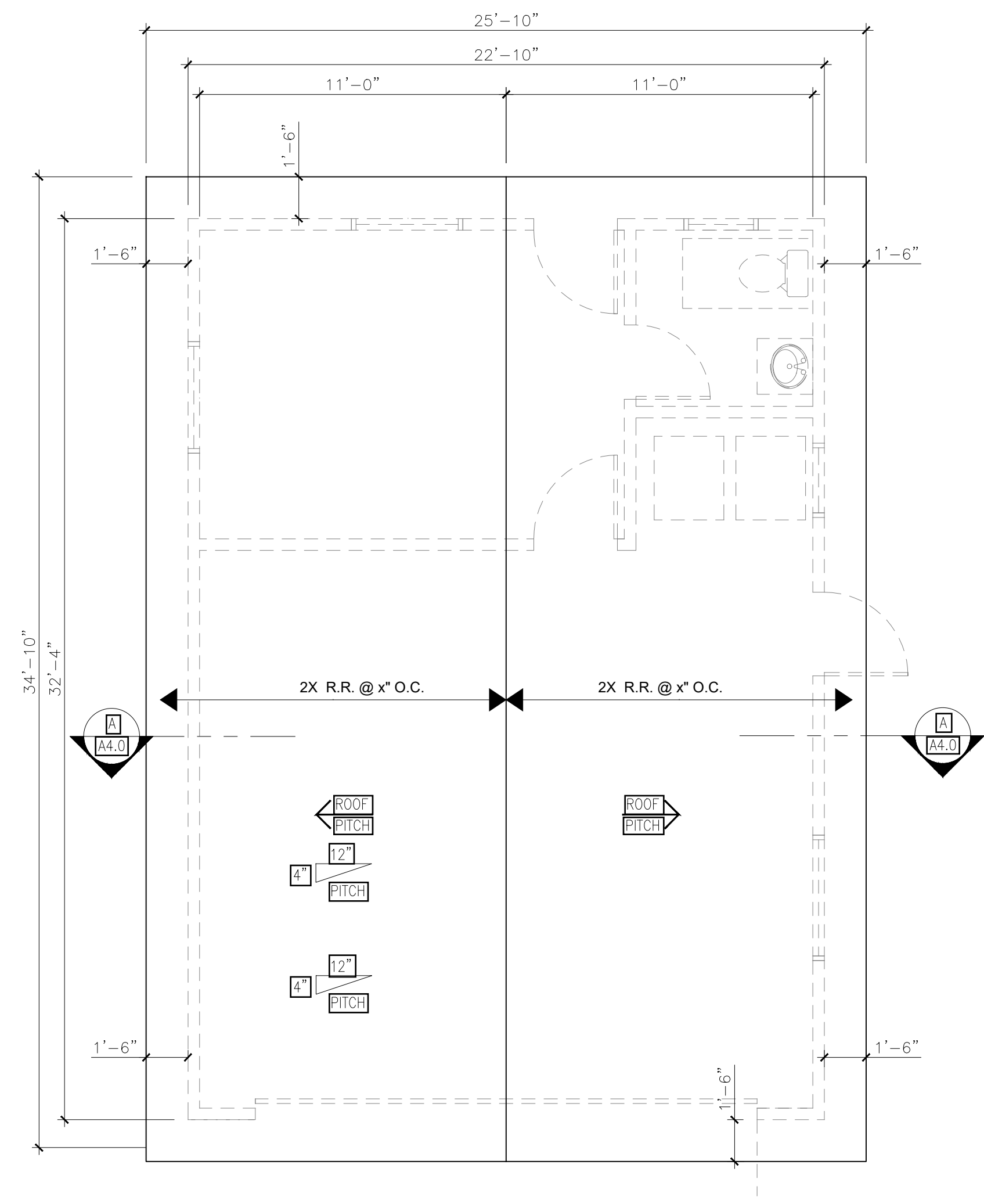
Sheet: A2.0 6 OF 4



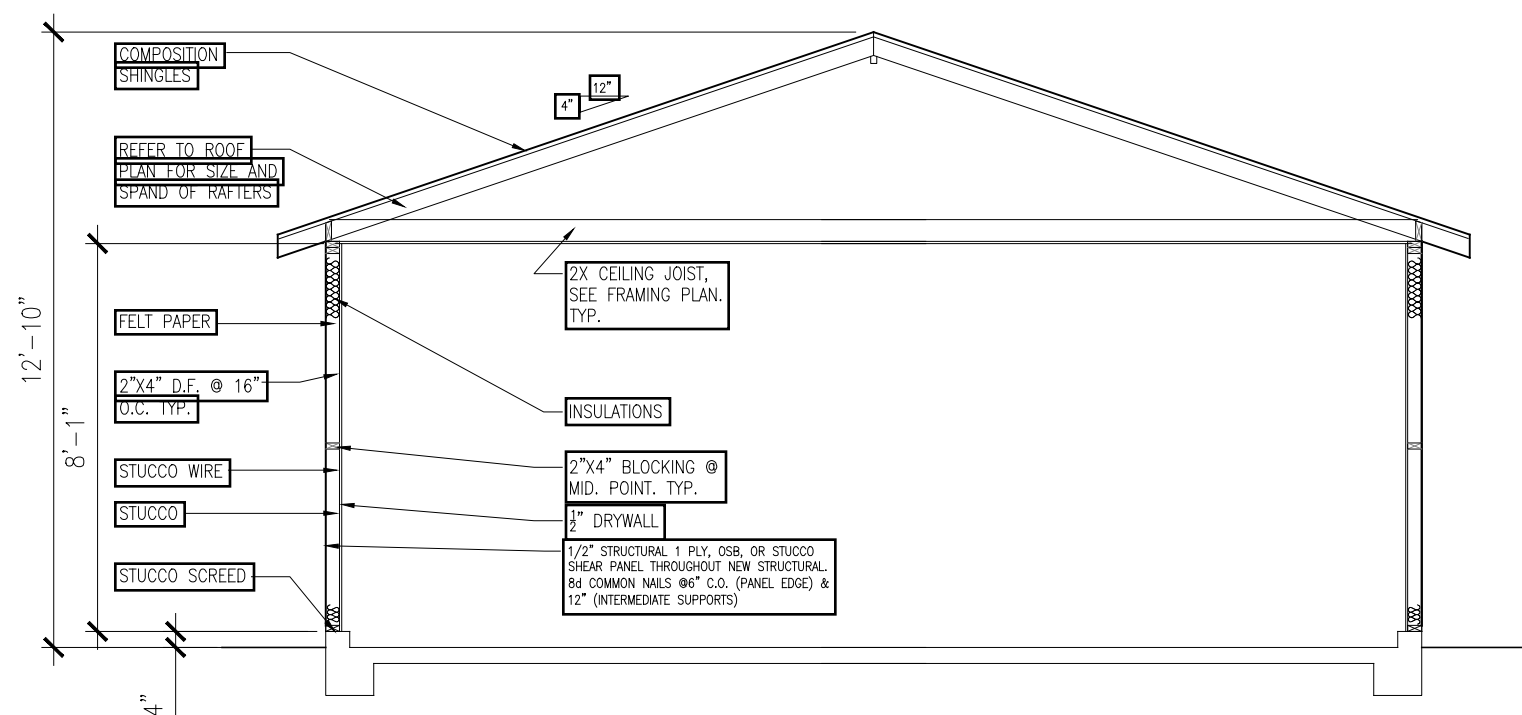
3 FOUNDATION PLAN Scale: 1/4"=1'-0"



2 FRAMING / ELECTRICAL PLAN Scale: 1/4"=1'-0"



1 ROOF PLAN Scale: 1/4"=1'-0"



4 SECTION PLAN Scale: 1/4"=1'-0"

DOOR SCHEDULE

DOOR MARK	# OF DOORS	SIZE	TYPE	REMARKS
D1	1	36" x 80"	WOOD ALUMINUM VINYL	STEEL, PER OWNER, CUSTOM
D2	1	36" x 80"	WOOD ALUMINUM VINYL	STEEL, PER OWNER, CUSTOM
D3	1	18'-0" x 7'-0"	WOOD ALUMINUM VINYL	STEEL, PER OWNER, 60 MIN. DR.
D4	1	36" x 80"	WOOD ALUMINUM VINYL	STEEL, PER OWNER, 60 MIN. DR.
D5	1	32" x 80"	WOOD ALUMINUM VINYL	WOOD/VINYL, PER OWNER, 60 MIN. DR.

- 1 1/2"-3/4" UNDERCUT OVER FINISH FLOOR, UNLESS NOTED OTHERWISE.
- 2 OWNER TO SELECT AND APPROVE ALL DOORS USED.
- 3 SEE T24 DRAWINGS FOR ALL ENERGY DESIGN INFORMATION.
- 4 SEE STRUCTURAL DRAWING FOR HEADER SIZE.

ENERGY COMPLIANCE

- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.
- TITLE-24 ENERGY REQUIREMENTS:
 - A. A MINIMUM OF 50% OF THE LUMINARIES IN A KITCHEN MUST BE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
 - B. BATHROOMS, GARAGES, LAUNDRY OR UTILITY ROOMS MUST HAVE FLUORESCENT OR HIGH EFFICACY LIGHTING, AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED BY A VACANCY SENSOR.
 - C. OTHER ROOMS. ALL LUMINARIES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. CLOSET THAT ARE LESS THAN 70 SQUARE FOOT ARE EXEMPT FROM THIS REQUIREMENT.
 - D. EXTERIOR LIGHTING MUST BE FLUORESCENT OR HIGH EFFICACY, OR AN OCCUPANT SENSOR WITH AN INTEGRAL PHOTO CONTROL MAY BE INSTALLED.

ELECTRICAL SYMBOLS LEGEND

- SWITCH
- OCCUPANCY SENSOR
- BUILDING STANDARD LIGHT
- DIMMER SWITCH
- OCCUPANCY SENSOR
- WP: WATER PROOF
- 26-WATT CFL RECESSED CAN WITH ELECTRONIC BALLAST & WHITE OR ALUMINUM REFLECTOR & TRIM
- 50 CFM AIR VENTILATION FAN
- EXTERIOR FLUORESCENT SCENCE
- SMOKE DETECTOR WITH BATTERY POWERED.
- SMOKE DETECTOR HARD WIRE 110 VOLTS INTER CONNECTED WITH BATTERY BACK UP
- CARBON MONOXIDE DETECTOR HARD WIRE 110 VOLTS INTER CONNECTED WITH BATTERY BACK UP BATTERY BACK UP
- BUILDING STANDARD DUPLEX OUTLET, OUTLET
- SFI DUPLEX OUTLET
- FLOOR: FLUORESCENT LIGHT

- NOTES:
- SMOKE DETECTOR SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
 - CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
 - PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250.
 - WALL 2 FEET WIDER OR GREATER SHALL HAVE AN OUTLET, OUTLETS SHALL BE SPACED NO MORE THAN 12 FEET APART AND A MAXIMUM OF 6 FEET FROM EN OF WALL OR OPENING. (CEC 210.52(a))
 - PROVIDE GFI PROTECTION TO ALL 120 VOLT, 15 & 20 AMP RECEPTACLES INSTALLED OUTDOORS, IN BATHROOMS, IN BASEMENT, AT COUNTER TOP SURFACES AND GARAGES. CEC 210.8(a)
 - COUNTERTOPS IN THE KITCHEN, DINING AREA & SIMILAR AREAS REQUIRE A RECEPTACLE TO PROVIDED FOR EACH COUNTER SPACE WIDER THEN 12" SO THAT NO POINT IS MORE THAN 24" FROM AN OUTLET. CEC 210.52(c)

WINDOW SCHEDULE

WINDOW MARK	SIZE	TYPE	MATERIAL	GLAZING	DETAILS	REMARKS
W1	4'-0" x 6'-0"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	4" X 6"	SEE T24
W2	2'-8" x 1'-6"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	4" X 6"	SEE T24
W3	4'-6" x 2'-0"	HORIZ. SLIDING	PER OWNER	DOUBLE GLAZED	6" X 6"	SEE T24

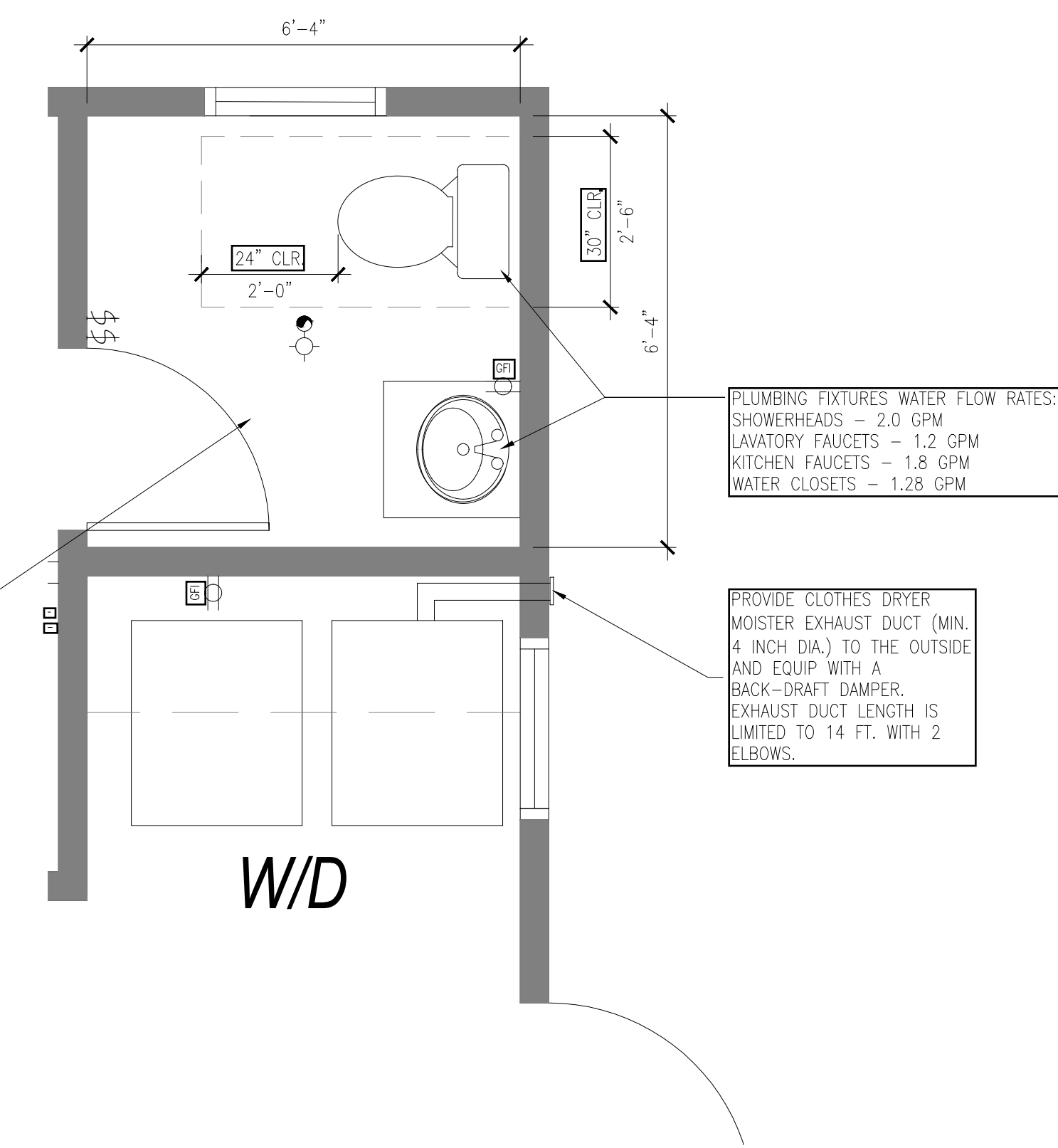
- NEW GLAZED OPENINGS WILL BE LABELLED A CERTIFIED U VALUE OF 0.75, WINDOWS SHALL BE DOUBLE GLAZED.
- NEW WINDOWS MUST BE 44" MIN. HEIGHT ABOVE FINISH FLOOR.
- LOFT: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, KITCHENS, AND LAUNDRIES REQUIRE NATURAL LIGHT BY MEANS OF EXTERIOR WINDOWS OR SKYLIGHTS @ 1/8 THE FLOOR AREA OF THE ROOM, OR 10 S.F. MIN., WHICHEVER IS GREATER.
- VENTILATION: ALL HABITABLE ROOMS, EXCEPT BATHROOMS, AND LAUNDRIES REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/8 THE FLOOR ARE OF THE ROOM, OR 5 S.F. MINIMUM. (NATURAL VENTILATION MA BE SUBSTITUTED WITH MECHANICAL VENTILATION). ALL BATHROOMS REQUIRE NATURAL VENTILATION BY MEANS OF OPERABLE WINDOWS @ 1/8 THE FLOOR AREA OF THE ROOM, WITH MECHANICAL VENTILATION.

PLUMBING NOTES:

PER SECTION 301.1.1 CALGreen & CIVIL CODE 1101.3(c). ALL NON-COMPLIANT PLUMBING FIXTURES WITHIN THIS RESIDENCE SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. BUILDINGS FINALED ON OR AFTER 01/01/94 ARE EXEMPT FROM THIS REQUIREMENT. (NOTE TO Pcer: THIS DOES NOT APPLY TO REPAIRS)

WALL LEGEND

- EXISTING WALL
- DEMO EXISTING WALL
- NEW 2X4 STUD WALL @ 16" O.C. W/ 1/2" TYPE "X" DRY WALL, W/ R-15 BATT. INSUL. (SEE T24)
- NEW PLUMBING WALL 2X6 STUD WALL @ R-15 BATT. INSUL. (SEE T24)



R ENLARGE BATHROOM Scale: 1/2"=1'-0"

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Single Family Residence APN: 8340-012-024

Project name & Owners Information:

Residence
 454 RANDOLPH ST.
 POMONA, CA 91768

Sheet title:
FRAMING & ELECTRICAL PLAN

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 Project #: 230501 SIGN:
 Date: 05.02.23 Drawn by: ERNESTO R. & RICHARD M.